



Town of Reading
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April 27, 2021

Site Plan Review DECISION

Project: 0 Auburn Street, Water Tank Replacement
Applicant: Reading Department of Public Works – Engineering Division

To the Town Clerk:

This is to certify that, at a public hearing of the Community Planning and Development Commission opened on February 22, 2021, and closed on April 12, 2021, by a motion duly made and seconded, it was voted:

“We, the Reading Community Planning and Development Commission, upon request from the Reading Department of Public Works (DPW) – Engineering Division, pursuant to Sections 4.3 and 4.6 of the Zoning Bylaws of the Town of Reading, to consider the contemplated site plan for 0 Auburn Street (Assessors Map 27, Lot 362) – as shown on the Auburn Street Water Tank Replacement Site Plan prepared by Weston and Sampson Engineers Inc., dated February 2021 and most recently revised April 2021 (submitted 4/12/21) – do hereby vote 4-0-1, to **approve** the plans, inclusive of the requested waivers, subject to the Findings and Conditions below.”

Materials Submitted:

The following materials were submitted into the public record:

- a) Certified List of Abutters, dated 1/26/21.
- b) Site Plan Review Application & Project Narrative, dated 1/29/21 and stamped by Town Clerk 2/1/21.
- c) Legal Notice, published in Daily Times Chronicle on 2/3/21 and 2/10/21.
- d) Auburn Street Water Storage Tank Replacement Photos:
 - a. Page 1 of 4: Existing tank site aerial photograph looking north & existing tank site aerial photograph looking east;
 - b. Page 2 of 4: Existing tank site aerial photograph looking south & existing tank site aerial photograph looking west;
 - c. Page 3 of 4: Existing tank from intersection of Auburn Street and Beacon Street, Existing tank from Chestnut Street & Existing tank from Auburn Street near Highland Street;
 - d. Page 4 of 4: Existing photo of tank & Manufacturer rendering of proposed tank;
- e) Site Plan Development Plan Set for Auburn Street Water Tank Replacement, Town of Reading, MA, prepared by Weston and Sampson Engineers, Inc.:
 - a. Sheet G000: Cover and Sheet List, dated 02/2021 and most recently revised April 5, 2021;

- b. Sheet G001: Abbreviations, Notes and Legend, dated 02/2021 and most recently revised April 5, 2021;
- c. Sheet C100: Tank Demolition and Soil Excavation Plan, dated 02/2021 and most recently revised April 12, 2021;
- d. Sheet C101: Proposed Site Plan, dated 02/2021 and most recently revised April 12, 2021;
- e. Sheet C501: Details I, dated 02/2021 and most recently revised April 5, 2021;
- f. Sheet C502: Details II, dated 02/2021 and most recently revised April 5, 2021;
- g. Sheet C503: Details III, dated 02/2021 and most recently revised April 5, 2021;
- h. Sheet C504: Details IV, dated 02/2021 and most recently revised April 5, 2021;
- f) Glass-lined, Bolted-steel Water Storage Tanks and Appurtenances:
 - a. Part One: General
 - b. Part Two: Products
 - c. Part Three: Execution
- g) Abutter Input:
 - a. Email from Jackie McCarthy of 28 Beacon Street, dated 3/21/21
 - b. Email from Carolyn Whiting of 17 Chestnut Street, dated 3/22/21
- h) Resistograph Charts demonstrating tree health or decay.
- i) Draft Decision, dated 4/12/21.

Findings:

- 1) Existing Conditions: The site is located at the corner of Auburn Street and Beacon Street and comprises ~36,631sf of area. It is maintained and owned by the Town of Reading's Water Division. The site has six (6) existing structures on it: a telecommunication building, a vault for an old water storage tank, a 31' diameter concrete pad for the old tank, the existing water tank, a vault for the existing water tank and a radio building with a generator on a concrete pad. The existing water storage tank is currently in use and the old water storage tank was removed prior to the construction of the existing tank. Cellular companies have equipment located on the existing tank and also utilize the telecommunication building. Both the Reading Police and Fire Department use the radio building for Town-wide emergency communications. The remaining structures are used by the Water Division to provide drinking water to the Town's residents.

The existing water storage tank is a 0.75million-gallon (MG) welded steel elevated tank that was built in 1953. The tank's existing coating system is degrading and the loads of the antennas on the catwalk were found to exceed the structural capacity. The cost of designing and maintaining the existing tank, as well as future operations cost, resulted in the decision to replace the existing water tank with a new composite elevated tank (CET).

- 2) Proposed Project:

Replacement Water Tank: The CET will consist of a glass-fused-to-steel tank constructed on top of a concrete pedestal. CET's are low maintenance and will not rust in the same manner as the existing tank. The CET will increase capacity from 0.75MG to 0.762MG, will reduce diameter from 70' to 59' and though the new tank's wall height will be increased from 26' to 40' the CET will match the existing tank's overflow height of 102'.

Temporary Cell/Radio Tower: The existing water tank has several cellular carriers' antennas mounted on the tank's catwalk and roof, as well as the Town's emergency communication antennas. The cellular carriers' antennas will be removed by others prior to construction. A temporary cell/radio tower, with a temporary 25' X 25' ballast foundation, will be installed in the northwest corner of the site prior to construction of the tank in order to hold all existing private and Town-owned communication antennas. Once the CET's construction is complete, the antennas will be moved to the new tank and the temporary tower will be removed.

Site Access: Access to the site is currently via bituminous driveway from Auburn Street near the intersection with Beacon Street. The access drive will be relocated further down Auburn Street away from the intersection, and will align with the garage door on the pedestal of the water tank. The existing driveway will then be converted to pervious material such as loam and seed.

Community Use: The Town is committed to converting or modifying an area in the eastern portion of the site to an appropriate community use, when timing for such is feasible given construction scheduling for the water tank and temporary cell tower, after a public process, and once funding is secured.

- 3) Zoning: The site is entirely located in, and surrounded by, the residential S-15 Zoning District.
- 4) Trees / Fence: The site is already utilized as a water storage tank site and the proposed CET will be in the same footprint as the existing tank, which is near the back of the lot and away from the road. There are a number of existing trees on site which help screen the tank from the road and abutting property. Based on a resistograph and drone analysis of the trees on-site, the Tree Warden has determined that a number of trees are hazardous or unhealthy and need to be removed. Trees that must be removed will be replaced once construction is complete. The fence line on the eastern side of the site will be relocated per Sheet C101 of the Plan Set approved herein, with a +/- 3' margin of error.
- 5) Lighting: The installation of new exterior lighting or illumination is not proposed.
- 6) Utilities: Installation of a 6" – 16" water main, gate valves, telemetry wiring and conduit, a tank mixer and associated electrical and communication infrastructure will all be installed underground. A fire hydrant is also proposed above ground on Auburn Street.
- 7) Soil: Excavation, removal and disposal of lead impacted soil will occur within the surrounding area of the water tank. Proper soil management and best practices will be utilized during site preparation and excavation. Dust barriers will be installed and procedures to prevent soils being tracked off-site will also be installed. Soil found to be contaminated will be remediated per Sheet C100 of the Plan Set approved herein.
- 8) Natural Resources: No wetlands or water resource area buffer zones are in close proximity to the site. Tree and vegetation removal will be minimal to the best extent practicable and areas disturbed during construction will be returned to pre-construction conditions. Trees will be

required to be removed for construction and access but new trees shall be replanted upon completion of construction.

- 9) **Traffic Impacts:** There will be no permanent increase of vehicular traffic to the area. Traffic on Auburn Street and the immediate area will be open for a majority of construction but traffic shutdowns will occur. Traffic shutdowns will be limited to specific construction activities such as material loading/unloading, erection of the concrete pad and water tank, etc. Scheduled activities requiring limiting vehicular access are not expected to exceed 8-hours at a time. Access to the general area by residents and emergency personnel will be maintained throughout construction. Police details will be utilized whenever work occurs in the roadway.

Waivers from Site Plan Checklist Requirements:

The Applicant has requested the following waivers:

1. *Site Plan Review Fee*
2. *Architectural Plans – Not Applicable to the application.*
3. *Photometric Plan – Not Applicable to the application.*
4. *Drainage Calculations – Not Applicable to the application.*
5. *Stormwater Pollution Prevention Plan – Not Applicable to the application.*
6. *Traffic Study – Not Applicable to the application.*

The CPDC voted 4-0-1 to approve the requested waivers.

Conditions:

General:

- 1) **Water Tank Aesthetics:** As a way to mitigate, for those in the viewshed, the increased massing of the tank resulting from the life-cycle cost-saving CET design as compared to the existing design, Town staff shall request via the Select Board and/or Town Meeting consideration of the following change to the project design and budget: a water tank color that is lighter to minimize the imposing nature of the darker standard cobalt blue color originally proposed. Whatever the final color of the tank, if possible without the need for on-going maintenance that requires cell carriers to temporarily relocate, the bands and stiffeners shall be colored to closely match, and cell carriers shall be required to have their installation equipment designed to minimize any visual impact (i.e., matching color).
- 2) **Fence:** The fence line on the eastern side of the site will be located as depicted on Sheet C101 of the Plan Set approved herein. Modifications to the exact fence location may be made within +/- 3 feet in an effort to preserve as many existing trees as possible that have not been determined to be hazardous, and depending on levels of soil contamination, required remediation, and space needed for proper site function.
- 3) **Community Use:** Town Planning and Engineering staff shall support the Commission in facilitating a public process to determine the design for the open space area designated for community use. The public process shall be initiated as soon as possible, and in coordination with any requests made to Town Meeting for funding for possible improvements. The phasing and implementation of any plan for the community area shall occur as is feasible given timing, budget, and construction scheduling for the water tank.

Pending further direction from this public process, the portion of the site left to the east of the fence shall be left in a loamed and seeded condition.

- 4) **Soil Remediation:** Soil remediation will be conducted per Sheet C100 of the Plan Set approved herein.
- 5) **Temporary Cell Tower:** If the northwest corner location does not end up being the final location for the temporary cell tower, the Applicant shall apply for a Major Modification to the Site Plan Approval herein, which will include notification to abutting property owners within 600' of the site, and a public process with the Commission. After the RFP process is complete, the Applicant shall return to the Commission to provide an update and information on the specifics of the temporary cell tower, which will include the same notification stated above.
- 6) **Limitations of Decision:** The Site Plan Decision herein does not include approval for any future uses or site renovations that may – on their own merits and design – trigger the requirements of site plan review. All future proposed uses requiring a site plan review shall obtain such approval(s).

Prior to the Start of Construction:

- 1) **Other Permits:** The Owner/Applicant is responsible for obtaining all other permits including but not limited to, utility connections, and Jackie's Law excavation permits from the Engineering Division (prior to excavation).

During Construction:

- 1) **Construction Hours:** Construction shall be limited to the hours stated in Section 8.9.8 "Construction Hours" of the Reading General Bylaws and said hours shall be posted in a conspicuous place at the entrance prior to any work on the site.
- 2) **Construction Activities:** Construction activities shall be conducted in a workmanlike manner at all times. Blowing dust or debris shall be controlled by the Applicant through stabilization, wetting down, and proper storage and disposal methods, subject to the approval of the Health Agent or designee. The Applicant shall ensure that the abutting local streets are kept clear of dirt and debris, which may accumulate as a result of construction activities for the Project.
- 3) **Erosion Control:** The Applicant and/or its contractor shall ensure the limit of work/erosion controls barriers are maintained throughout construction.
- 4) **Site Inspections:** Town staff or their designee shall have reasonable access to inspect the site to determine compliance with this Decision.

Conditions for Ongoing Maintenance:

- 1) **Tree Replacement:** Though trees cannot be replaced on a 1:1 basis due to current overcrowded planting conditions, the Town is committed to robustly replanting the site per the Tree Warden's recommendations.
- 2) **Landscaping:** The landscaping shall be replaced and maintained in a healthy condition in perpetuity. In the event that landscaping is damaged, the Town shall replace such landscaping during the next growing season.

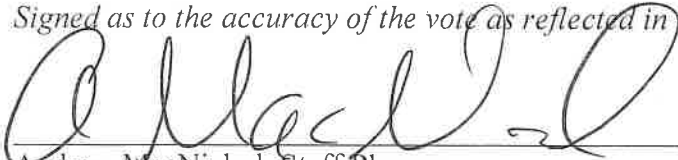
Modifications/Revisions - Plan Changes after Approval by the Approving Authority:

Contemplated future changes to the plan approved herein shall be presented to the Community Development Director and the Zoning Enforcement Officer/Building Inspector, or other relevant Town staff, for review prior to implementation of proposed changes.

1. Minor Modification: Changes that do not substantially alter the concept of the approved Plan in terms of the specific location, the proposed land use, the design of building form and approved building details and materials, site grading or egress points. These include but are not limited to small changes in site layout, topography, architectural plans, landscaping plan, traffic circulation, parking, lighting, signage, open space or other criteria set forth in Section 4.6.9.1. Requests for approval under a minor modification for future renovations/alterations to the approved site plan or for future tenant changes shall be reviewed by the Community Development Director to determine if the proposed work qualifies for review through the Minor Site Plan Review process of Section 4.6.3 of the Reading Zoning Bylaw. If the work is eligible for review under Minor Site Plan review, the Community Development Director may review and grant approval of the proposed work by administrative approval of the Minor Modification. At the determination of the Community Development Director, the Applicant may be required to present the proposed project at a public meeting of the CPDC.

2. Major Modification: If, at any time before or during development, it becomes necessary or desirable for an Applicant to make modifications to a Site Plan, the Applicant shall appear at a regular meeting of the CPDC and submit, if required by the CPDC, plans showing the modification. Modification requests shall be processed in accordance with the rules governing Site Plan Review unless, upon review and determination by the Community Development Director, the proposed changes qualify as a Minor Modification pursuant to Section 4.6.9.2. The following changes shall be deemed to qualify as a Major Modification: any relocation or shifting of structures or parking areas; any increase in the gross floor area of structures or any changes to the building envelope; any change that requires additional water or sewer usage or the relocation of water and sewer utilities; any increase in impervious areas, either by changes to structures or paved parking areas; or substantial changes to the approved architectural drawings, including changes in building materials and color.

Signed as to the accuracy of the vote as reflected in the minutes:



Andrew MacNichol, Staff Planner

4/27/21
Date

Cc: Applicant, Town Clerk, DRT Staff, planning file