

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

27/371	Reading		356
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town: Reading

Place: (*neighborhood or village*)

Photograph



Address: 36 Beacon Street

Historic Name: Alfred L. Oliver House

Uses: Present: residential

Original: residential

Date of Construction: 1917

Source: water department records

Style/Form: Bungalow

Architect/Builder: unknown (Alfred Oliver?)

Exterior Material:

Foundation: rubble

Wall/Trim: rubble, wood shingle

Roof: asphalt shingle

Outbuildings/Secondary Structures:

Major Alterations (*with dates*):

date unknown – enclosure of front porch

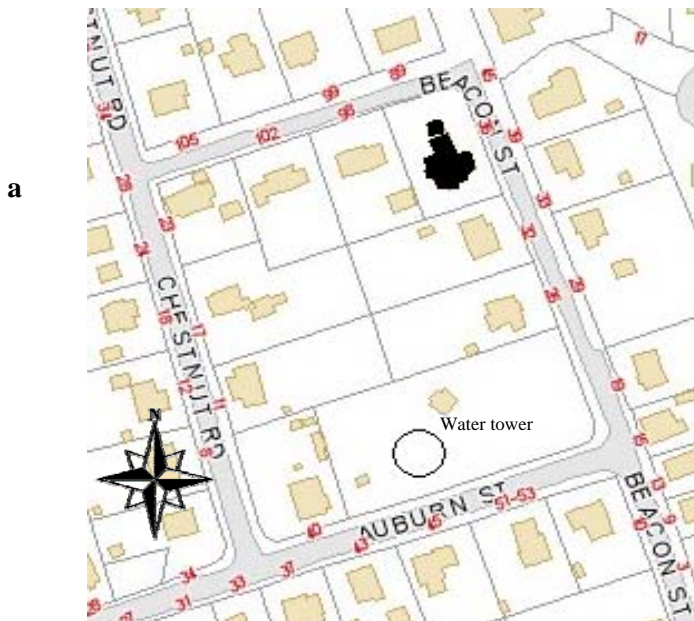
Condition: good

Moved: no | x | yes | | **Date** _____

Acreage: 0.26 acre

Setting: mixed residential neighborhood

Topographic or Assessor's Map



Recorded by: Lisa Mausolf

Organization: Reading Historical Commission

Date (*month / year*): December 2009

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INVENTORY FORM B CONTINUATION SHEET

READING

36 Beacon Street

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 36 Beacon Street is a distinctive early 20th century variation on the Bungalow form, notable for its rubble walls. The 1½-story structure is capped by a low pitch gable roof and the side gables are sheathed in wood shingles laid in a staggered butt pattern. The ends of the rafters are chamfered and on the lateral ends the exposed rafter tails are incised by lines of small holes. Projecting from the façade is a low gable supported by tapered square posts. It appears that the projecting gable was originally open but has been enclosed with shingled walls and modern fenestration including casement windows and a glass door. A secondary porch on the south side consists of a shed roof supported by tapered posts resting on rubble bases. Historic windows include double-hung units with multi-paned upper sash over a single light lower sash. There are also diamond paned windows in the attic. A single-story, wood shingled section is located to the north of the stone house. Two stone chimneys rise from the roof and there is a stone wall along the front lot line.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house stands on lot 61 of a plan of house lots belonging to Milo Parker and others (Plan Book 5, Plan 25). According to water department records, the first owner of the house was Alfred L. Oliver and the water to the house was first connected on May 10, 1917. Early on, the street was known as Prospect or was referred to as being "off Park".

The 1919 and 1925 directories list Alfred L. Oliver's occupation as carpenter. The 1920 Census indicates he was then 52 years old and worked as a shipping clerk at a steam fitters. Living with him in 1920 were his German-born wife, Sophie, age 60, his 26 year old daughter Marion who worked in a neck tie factory and his mother, Abbie, a 74 year old widow. Oliver only lived here a relatively short time. By 1930 he was widowed and living in Eastham, Mass. with his daughter.

By the late 1930s Gerard Dolliver, a salesman, was living here with his wife Maude. Charles E. Bennett purchased the property in 1947 (Book 7221, Page 426). It remained in the Bennett family until 1979 when it was sold by Josephine Bennett to William Lawrence.

BIBLIOGRAPHY and/or REFERENCES

Middlesex County South Registry of Deeds, Cambridge, Mass.

Reading 350th Book Committee. *At Wood End – Reading, Massachusetts 1644-1994, A Pictorial History*, 1994.

Town of Reading. List of Persons Twenty Years of Age and Over. Compiled by the Board of Registrars, Reading, Massachusetts, 1907-1979. (No women listed until 1924).

Town of Reading. Valuation of Real and Personal Estates, various dates.

Town of Reading, Water Department Records, 1891-present.

U.S. Census, 1930.

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Community Property Address
READING 36 BEACON STREET

Area(s) Form No.

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National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
 Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Lisa Mausolf

The criteria that are checked in the above sections must be justified here.

Constructed in 1917, the house at 36 Beacon Street is a distinctive example of a variation on the side-gabled Bungalow style with walls that are constructed of rubble and patterned wood shingles in the gables. The property is potentially eligible for the National Register as an amendment to the 1984 Reading Multiple Resource Area under Criteria A and C, for its associations with the early 20th century development of Reading and as a good example of the Bungalow style.