

ZONING:

ZONING DISTRICT: S-20
 MIN. LOT AREA: 20,000 S.F.
 MIN. LOT FRONTAGE: 120 FEET
 MIN. LOT WIDTH: 80 FEET
 MIN. FRONT YARD: 20 FEET
 MIN. SIDE YARD: 15 FEET
 MIN. REAR YARD: 20 FEET
 MAX. LOT COVERAGE: 25%

**LIST OF WAIVERS REQUESTED FROM
 THE TOWN OF READING SUBDIVISION REGULATIONS**

- | | |
|-------------------------|--|
| 1. SECTION 6.1.1.b.10 | - REQUIRING TOPOGRAPHY BE SHOWN WITHIN 100 FEET OF LOCUS |
| 2. SECTION 6.1.1.b.23 | - REQUIRING DELINEATED BOUNDS OF ANY WETLAND RESOURCE AREAS ON THE PROPERTY OR WITHIN 200 FEET OF ANY PORTION OF THE PROPERTY. |
| 3. SECTION 6.1.1.d.3 | - REQUIRING A FULL TRAFFIC REPORT/STUDY |
| 4. SECTION 6.1.1.d.4 | - REQUIRING AN ENVIRONMENTAL IMPACT REPORT |
| 5. SECTION 6.1.1.d.7(c) | - REQUIRING ELECTRICAL SERVICE AND STREET LIGHTING |
| 6. SECTION 7.1(d) | - REQUIRING ALL ROADWAYS TO BE DESIGNED IN ACCORDANCE WITH AASHTO RECOMMENDATIONS |
| 7. SECTION 7.1.1(a) | - REQUIRING THE WIDTH OF STREET RIGHT OF WAYS TO BE SIXTY FEET AND CUL-DE-SAC TERMINATIONS OF STREET RIGHT-OF-WAY CIRCLE WITH A RADIUS OF 60 FEET. |
| 8. SECTION 7.1.2(c) | - REQUIRING THAT CHANGES IN GRADE OR VERTICAL CURVES OF STREETS BE DESIGNED IN ACCORDANCE WITH AASHTO BASED ON A DESIGN SPEED OF 30 MPH FOR SECONDARY STREETS. |
| 9. SECTION 7.1.3 | - REQUIRING A 30 FOOT MINIMUM PAVED WAY (24 FEET PROPOSED) |
| 10. SECTION 7.1.5(a) | - REQUIRING MAXIMUM DEAD END ROADWAY LENGTH OF 500 FEET (624.59 FEET PROPOSED...SIDELINE TO CENTER OF CUL-DE-SAC) |
| 11. SECTION 7.1.7 | - REQUIRING GRANITE CURBING TO BE INSTALLED. |
| 12. SECTION 7.2 | - REQUIRING SIDEWALKS ALONG BOTH SIDES OF ROADWAY. |

**"SMALL LANE EXTENSION"
 DEFINITIVE SUBDIVISION PLAN
 PLAN OF LAND**

LOCATED IN
READING, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED BY
**SULLIVAN ENGINEERING
 GROUP, LLC**

P.O. BOX 2004
 WOBURN, MA 01888
 (781) 854-8644

DATE: JULY 27, 2020
 REVISED: DEC. 1, 2020

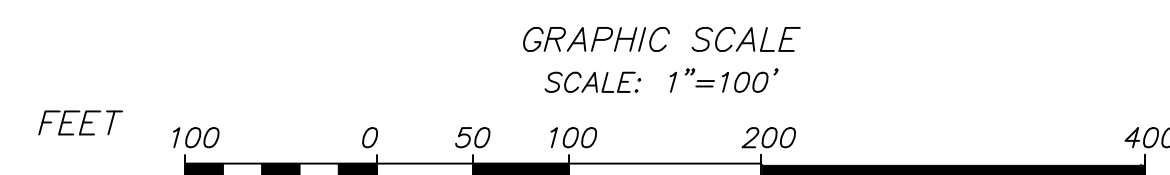
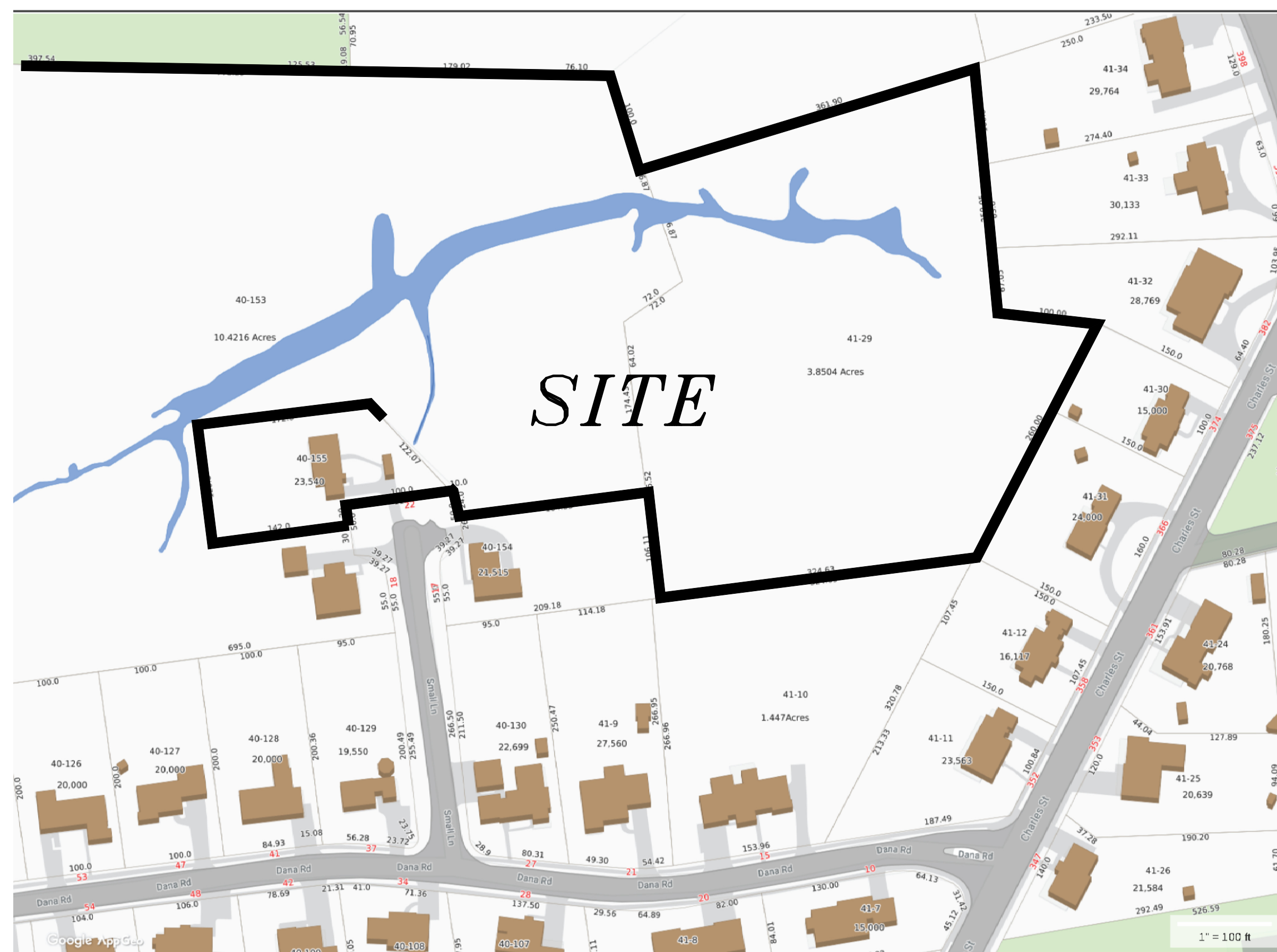
READING COMMUNITY PLANNING
 & DEVELOPMENT COMMISSION

APPROVED _____, 20__

SHEET INDEX:

- 1 COVER SHEET
- 2 LOT PLAN
- 3 EXISTING CONDITIONS PLAN
- 4 SITE, GRADING, & UTILITY PLAN
- 5 ROADWAY PLAN & PROFILE
- 6 CONSTRUCTION DETAILS

FOR REGISTRY OF DEEDS USE ONLY



I, _____ TOWN CLERK OF THE TOWN OF READING, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE READING COMMUNITY PLANNING & DEVELOPMENT HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

PREPARED FOR
DEL REY REALTY TRUST
 C/O MEAGAN JOHNSON

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



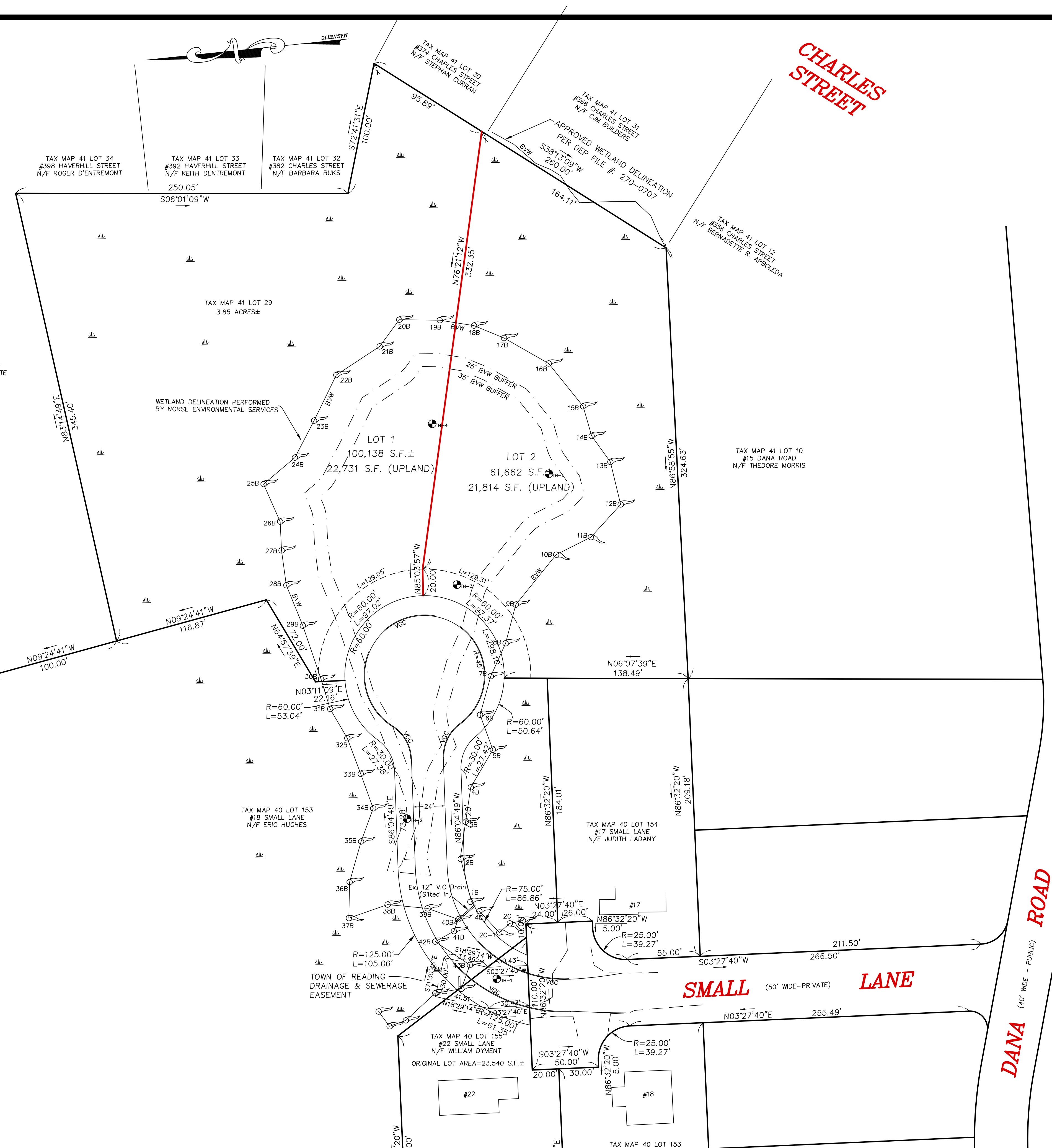
JOHN D. SULLIVAN III, P.E. 7-27-2020
 DATE

TOWN CLERK _____ DATE _____

CHARLES STREET

DANA ROAD
(40' WIDE - PUBLIC)

SMALL LANE
(50' WIDE - PRIVATE)



FOR REGISTRY OF DEEDS USE ONLY
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PAUL FINOCCHIO, PLS. DATE

READING COMMUNITY PLANNING & DEVELOPMENT COMMISSION

APPROVED _____, 20__

ZONING INFORMATION:
ZONING DISTRICT: S-20

SMALL LANE EXTENSION

LOT PLAN OF LAND
LOCATED IN
READING, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
DEL REY R.T.
SCALE: 1" = 40' DATE: JULY 27, 2020

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	7/21/20	PAVEMENT WIDTH = 24 FEET	JDS	JDS
NO.				

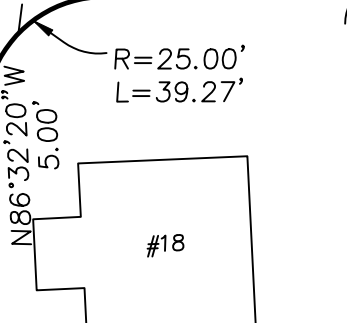
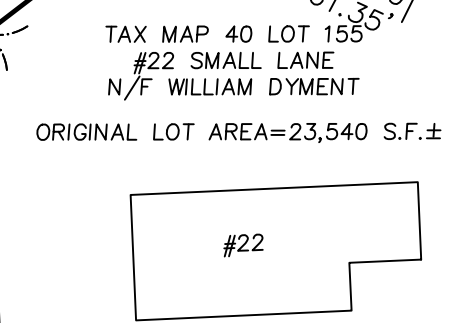
TAX MAP 40 LOT 205
#1 GREY COACH ROAD
N/F SALVATORE BRAMANTE

TAX MAP 41 LOT 34
#398 HAVERHILL STREET
N/F ROGER D'ENTREMONT

TAX MAP 41 LOT 33
#392 HAVERHILL STREET
N/F KEITH DENTREMONT

TAX MAP 41 LOT 32
#382 CHARLES STREET
N/F BARBARA BUKS

TAX MAP 41 LOT 29
3.85 ACRES±



TAX MAP 40 LOT 154
#17 SMALL LANE
N/F JUDITH LADANY

TAX MAP 41 LOT 10
#15 DANA ROAD
N/F THEODORE MORRIS

TAX MAP 41 LOT 12
#108 CHARLES STREET
N/F BERNADETTE R. ARGOLEDA

TAX MAP 41 LOT 31
#367 CHARLES STREET
N/F CUM BUILDERS

TAX MAP 41 LOT 30
#374 CHARLES STREET
N/F STEPHAN CURRAN

177.5'
77.8'
8.25' (DEED)

TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
1	SEWER MANHOLE RIM	83.38'

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY JOHN D. SULLIVAN III, P.E., C.S.E. ON 11/5/19

TEST PIT: TH-1
ELEV.=82.3'
MOTTLING @ 28" (ELEV=80.5')
0"-4" HORIZON A: SANDY LOAM 10 YR 3/3
4"-13" HORIZON Bw: LOAMY SAND 10 YR 6/8
13"-50" C-LAYER: LOAMY SAND 2.5 Y 5/4
WATER STANDING @ 43"

TEST PIT: TH-2
ELEV.=81.5'
MOTTLING @ 24" (ELEV=79.5')
0"-6" HORIZON A: SANDY LOAM 10 YR 3/3
6"-15" HORIZON Bw: LOAMY SAND 10 YR 6/8
15"-55" C-LAYER: M-C SAND 2.5 Y 5/4
WATER STANDING @ 28"

TEST PIT: TH-3
ELEV.=85.2'
MOTTLING @ 38" (ELEV=82.0')
0"-5" HORIZON A: SANDY LOAM 10 YR 3/3
5"-14" HORIZON Bw: LOAMY SAND 10 YR 6/8
14"-67" C-LAYER: M-C SAND 2.5 Y 5/4
WATER STANDING @ 48"

TEST PIT: TH-4
ELEV.=86.1'
MOTTLING @ NONE
0"-4" HORIZON A0: SANDY LOAM 10 YR 3/3
4"-15" HORIZON Bw: LOAMY SAND 10 YR 6/8
15"-80" C-LAYER: M-C SAND 2.5 Y 5/4
WATER STANDING @ 72" (ELEV=80.1')

TEST PIT: TH-5
ELEV.=84.3'
MOTTLING @ NONE
0"-4" HORIZON A0: SANDY LOAM 10 YR 3/3
4"-13" HORIZON Bw: LOAMY SAND 10 YR 6/8
13"-68" C-LAYER: M-C SAND 2.5 Y 5/4
WATER STANDING @ 55" (ELEV=79.7')

FOR REGISTRY OF DEEDS USE ONLY
I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

PAUL FINOCCHIO, PLS DATE

READING COMMUNITY PLANNING & DEVELOPMENT COMMISSION

APPROVED _____, 20__

TREE REMOVAL INFORMATION:

A TOTAL OF 50 TREES (6" OR GREATER) TO BE REMOVED WITHIN ROADWAY AND GRADING AREAS.

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PARTIAL FIELD SURVEY CONDUCTED ON OCT. 1-3, 2019 BY SULLIVAN ENGINEERING GROUP, LLC.
- THE LOCUS PROPERTY DEPICTED IS LOCATED IN ZONING DISTRICT S-20.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. THE DESIGN ENGINEER DOES NOT WARRANT OR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON WERE BASED UPON THE 1929 NGVD DATUM.
- THE LOCUS PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE AS DEPICTED ON THE LATEST FLOOD INSURANCE RATE MAP.

SMALL LANE EXTENSION

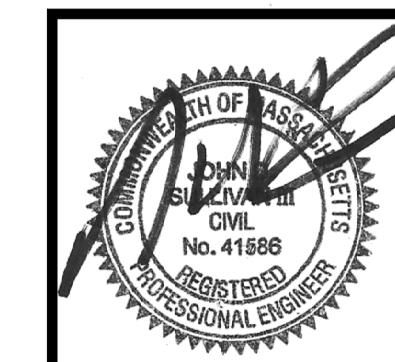
EXISTING CONDITIONS PLAN
LOCATED IN
READING, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
DEL REY R.T.

SCALE: 1" = 40' DATE: JULY 27, 2020

PREPARED BY
SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

SHEET No. 3 OF 6



REVISIONS

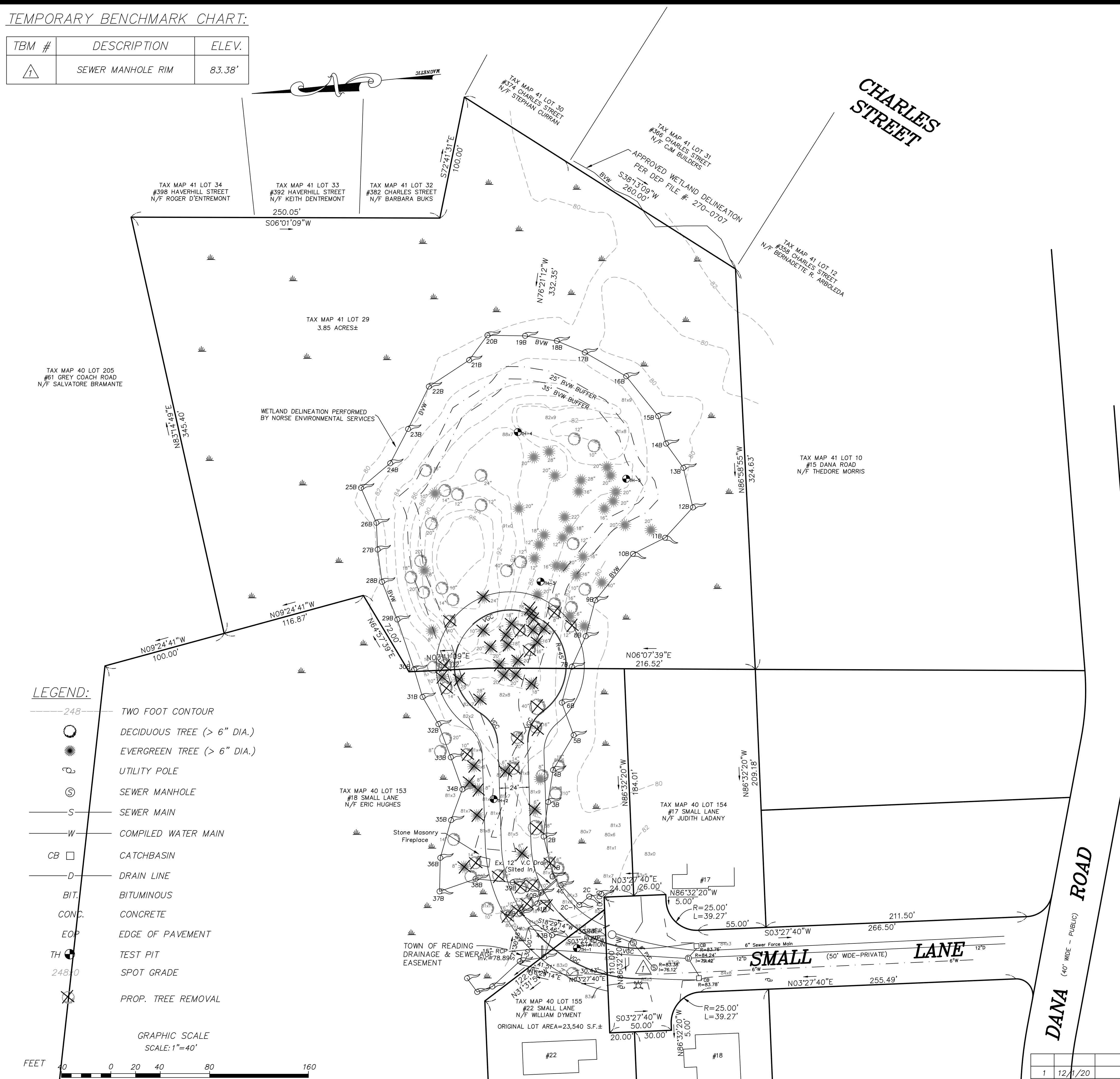
NO.	DATE	DESCRIPTION	BY	CHK'D
1	12/1/20	TREE REMOVAL	JDS	JDS

LEGEND:

- 248- TWO FOOT CONTOUR
- DECIDUOUS TREE (> 6" DIA.)
- ☼ EVERGREEN TREE (> 6" DIA.)
- ⊕ UTILITY POLE
- ⊙ SEWER MANHOLE
- S SEWER MAIN
- W COMPILED WATER MAIN
- CB CATCHBASIN
- D DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH TEST PIT
- 248.0 SPOT GRADE
- ✕ PROP. TREE REMOVAL

GRAPHIC SCALE
SCALE: 1"=40'

FEET 0 20 40 80 160



NOTES:

- 1) THE SEWER CONNECTION 1/1 FEE IS REQUIRED FOR THE NEW HOUSES PRIOR TO OCCUPANCY.
- 2) ENGINEERING DIVISION SHALL BE NOTIFIED 72 HOURS IN ADVANCE TO MARK OUT TOWN UTILITIES.
- 3) ALL WATER, SEWER, CURBCUT, STREET OPENING, & JACKIE'S LAW EXCAVATION PERMITS SHALL BE OBTAINED AT THE ENGINEERING DIVISION PRIOR TO ANY EXCAVATION.
- 4) ALL UTILITY WORK, INCLUDING DRAINAGE INSTALLATION SHALL BE INSPECTED BY THE ENGINEERING DIVISION.
- 5) THE DEVELOPER OR OWNER SHALL SUBMIT A CONSTRUCTION SCHEDULE OF PROPOSED WORK.
- 6) ALL INSPECTIONS SHALL BE SCHEDULED 24 HOURS IN ADVANCE.
- 7) AN APPROVED SITE AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION WITHIN 60 DAYS OF CERTIFICATE OF OCCUPANCY. THE AS-BUILT SHALL BE PROVIDED ON PAPER COPY AND ELECTRONIC ACAD FORMAT.

FOR REGISTRY OF DEEDS USE ONLY
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PAUL FINOCCHIO, PLS DATE

READING COMMUNITY PLANNING & DEVELOPMENT COMMISSION

APPROVED _____, 20__

LEGEND:

- 248 — TWO FOOT CONTOUR
- DECIDUOUS TREE (> 6" DIA.)
- EVERGREEN TREE (> 6" DIA.)
- ⊕ UTILITY POLE
- ⊙ SEWER MANHOLE
- S — SEWER MAIN
- W — COMPILED WATER MAIN
- CB □ CATCHBASIN
- D — DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH ⊕ TEST PIT
- (100) — PROP. CONTOUR

SMALL LANE EXTENSION

SITE, GRADING, & UTILITY PLAN
LOCATED IN
READING, MASSACHUSETTS
(MIDDLESEX COUNTY)

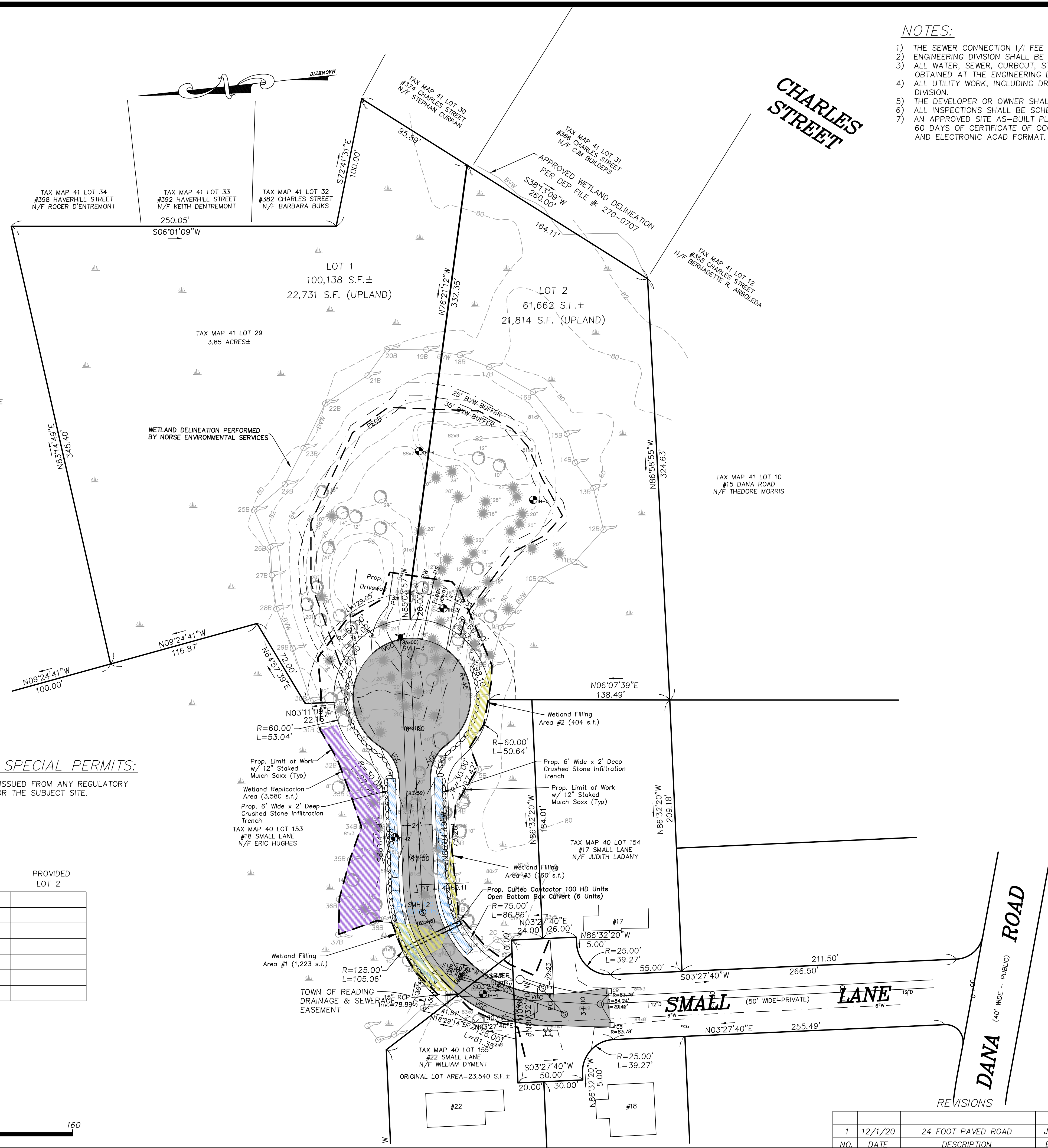
PREPARED FOR
DEL REY R.T.
SCALE: 1" = 40' DATE: JULY 27, 2020

PREPARED BY
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SHEET No. 4 OF 6



NO.	DATE	DESCRIPTION	BY	CHK'D
1	12/1/20	24 FOOT PAVED ROAD	JDS	JDS



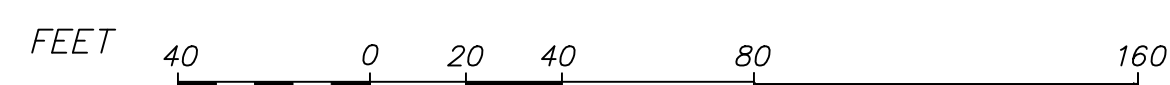
PREVIOUS VARIANCES AND/OR SPECIAL PERMITS:

THERE ARE NO KNOWN VARIANCES OR SPECIAL PERMITS ISSUED FROM ANY REGULATORY BOARD OR COMMISSION WITHIN THE TOWN OF READING FOR THE SUBJECT SITE.

ZONING TABLE:

	REQUIRED:	PROVIDED LOT 1	PROVIDED LOT 2
MIN. LOT AREA:	20,000 S.F.		
MIN. LOT FRONTAGE:	120 FEET		
MIN. LOT WIDTH:	80 FT		
MIN. FRONT BLDG SETBACK:	20 FEET		
MIN. SIDE BLDG SETBACK:	15 FEET		
MIN. REAR BLDG SETBACK:	20 FEET		
MAX. BLDG COVERAGE:	25%		

GRAPHIC SCALE
SCALE: 1" = 40'

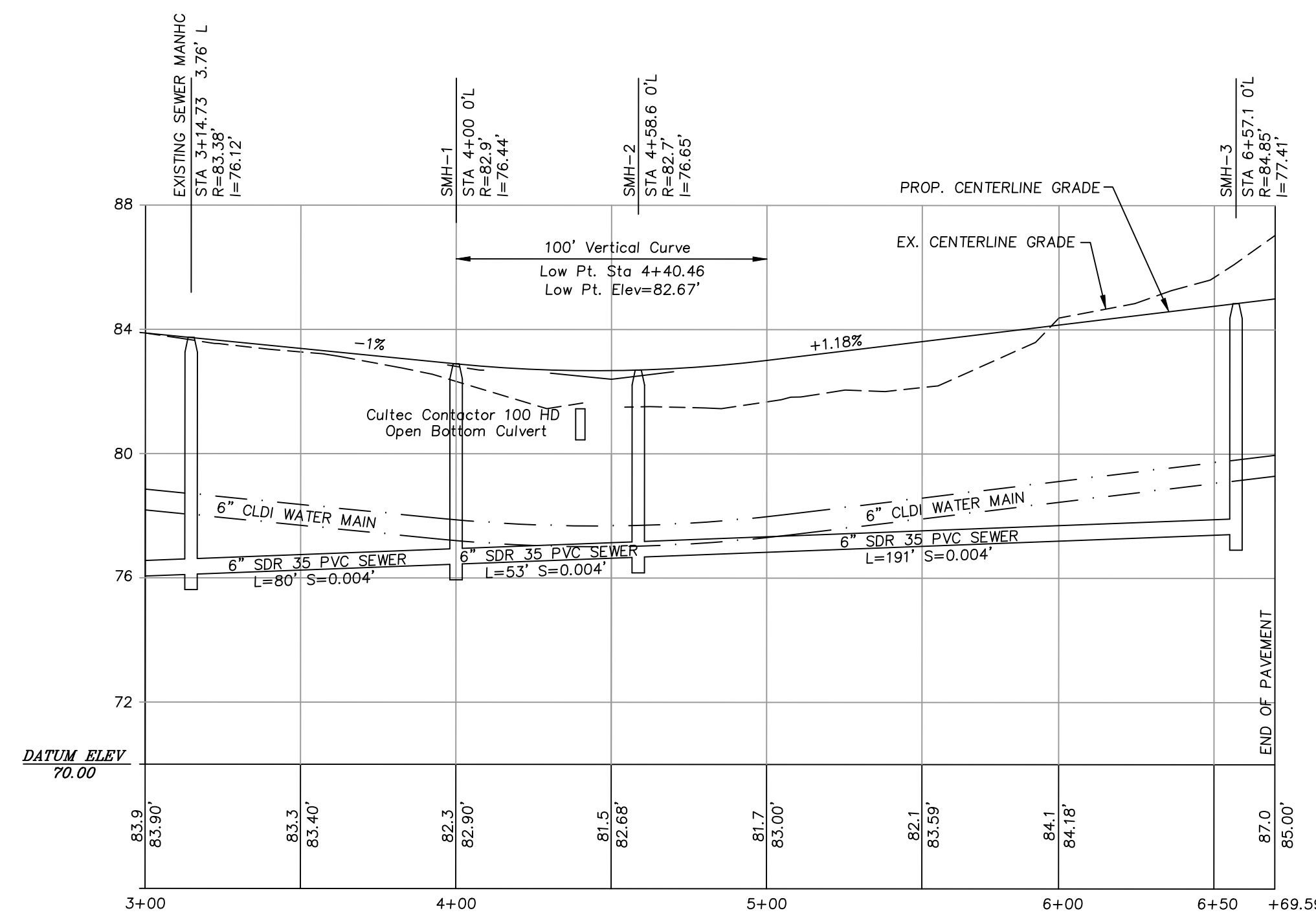


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 REGISTERS OF DEEDS.

PAUL FINOCCHIO, PLS DATE

READING COMMUNITY PLANNING
 & DEVELOPMENT COMMISSION

APPROVED _____, 20__



LEGEND:

- 248--- TWO FOOT CONTOUR
- DECIDUOUS TREE (> 6" DIA.)
- EVERGREEN TREE (> 6" DIA.)
- ⊕ UTILITY POLE
- ⊙ SEWER MANHOLE
- S— SEWER MAIN
- W— COMPILED WATER MAIN
- CB □ CATCHBASIN
- D— DRAIN LINE
- BIT. BITUMINOUS
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- TH ⊕ TEST PIT
- (100)— PROP. CONTOUR

SMALL LANE EXTENSION

ROADWAY PLAN & PROFILE
 LOCATED IN
READING, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED FOR
 DEL REY R.T.

SCALE: 1" = 40' DATE: JULY 27, 2020

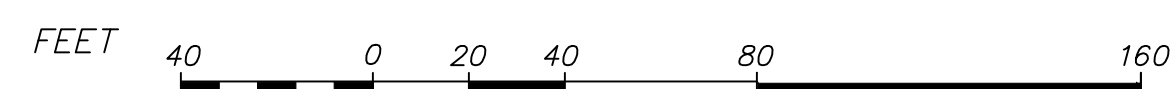
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SHEET No. 5 OF 6

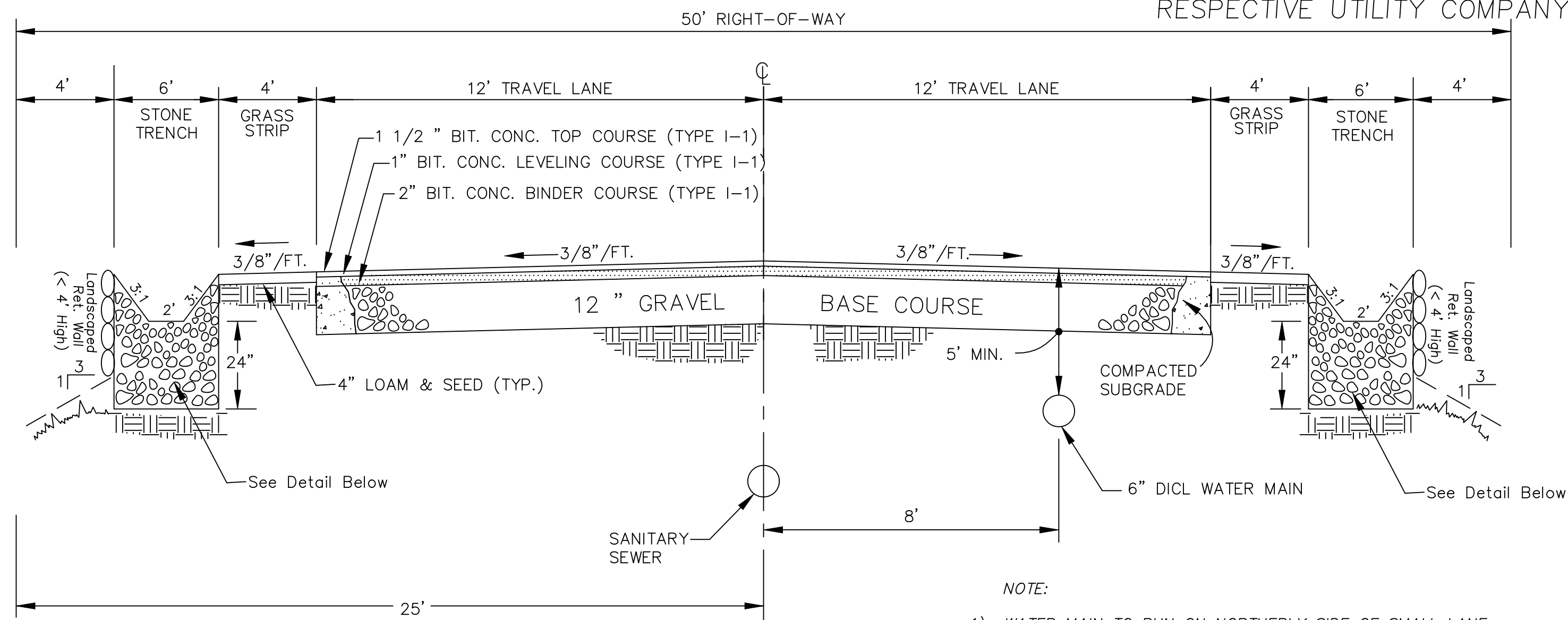
REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	12/1/20	NO CHANGES THIS SHEET	JDS	JDS

GRAPHIC SCALE
 SCALE: 1"=40'



UNDERGROUND TELEPHONE, ELECTRIC, AND CABLE TO MEET DETAILS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY.



STANDARD CROSS-SECTION FOR STREET CONSTRUCTION (NOT TO SCALE)

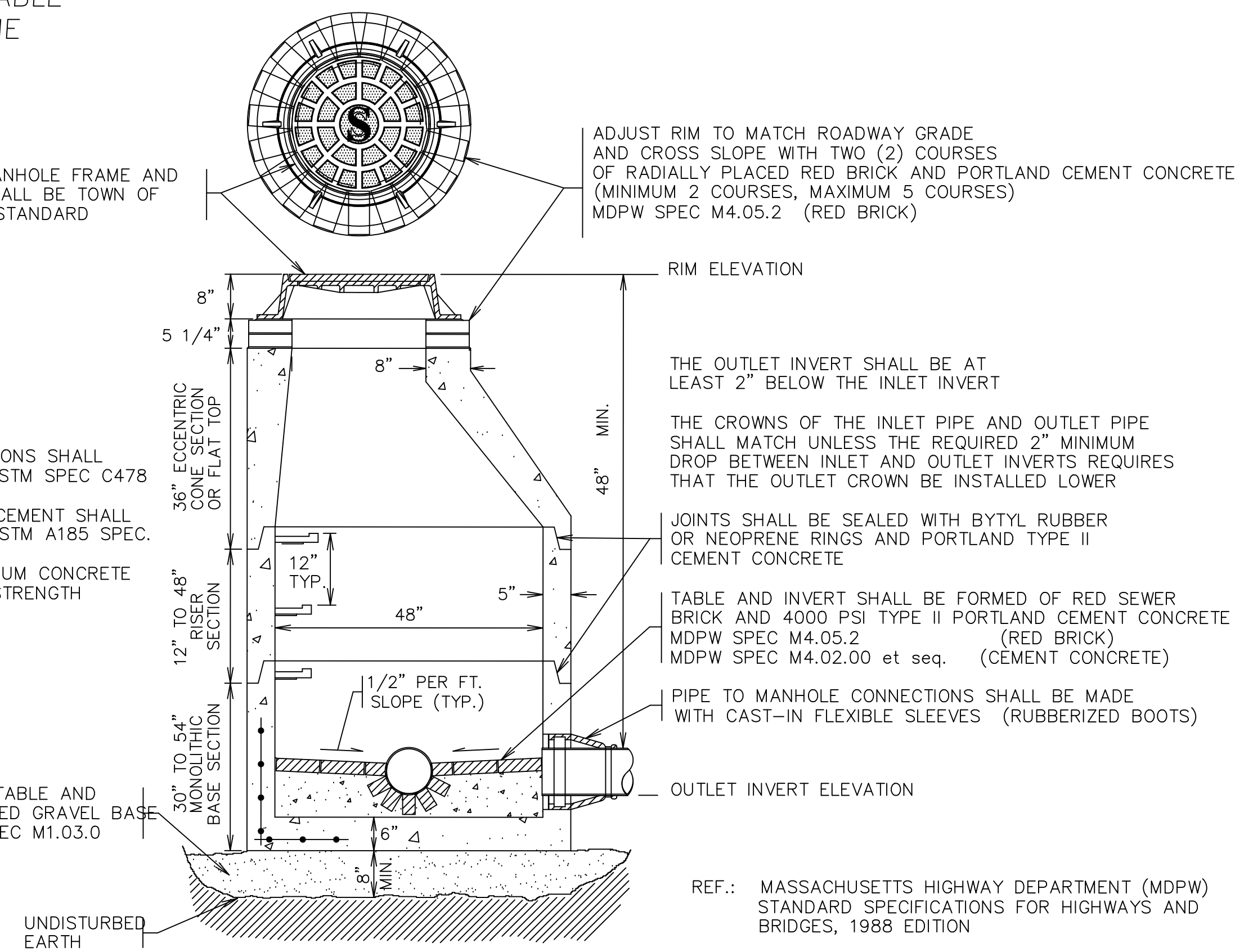
- NOTE:
- 1) WATER MAIN TO RUN ON NORTHERLY SIDE OF SMALL LANE
 - 2) UNDERGROUND E.C. & T LOCATION TO BE COORDINATED WITH UTILITY COMPANIES.

SEWER MANHOLE FRAME AND COVER SHALL BE TOWN OF READING STANDARD

MANHOLE SECTIONS SHALL CONFORM TO ASTM SPEC C478

STEEL REINFORCEMENT SHALL CONFORM TO ASTM A185 SPEC.

4000 PSI MINIMUM CONCRETE COMPRESSIVE STRENGTH



TYPICAL SEWER MANHOLE DETAIL (NOT TO SCALE)

ADJUST RIM TO MATCH ROADWAY GRADE AND CROSS SLOPE WITH TWO (2) COURSES OF RADIALLY PLACED RED BRICK AND PORTLAND CEMENT CONCRETE (MINIMUM 2 COURSES, MAXIMUM 5 COURSES) MDPW SPEC M4.05.2 (RED BRICK)

RIM ELEVATION

THE OUTLET INVERT SHALL BE AT LEAST 2" BELOW THE INLET INVERT

THE CROWNS OF THE INLET PIPE AND OUTLET PIPE SHALL MATCH UNLESS THE REQUIRED 2" MINIMUM DROP BETWEEN INLET AND OUTLET INVERTS REQUIRES THAT THE OUTLET CROWN BE INSTALLED LOWER

JOINTS SHALL BE SEALED WITH BUTYL RUBBER OR NEOPRENE RINGS AND PORTLAND TYPE II CEMENT CONCRETE

TABLE AND INVERT SHALL BE FORMED OF RED SEWER BRICK AND 4000 PSI TYPE II PORTLAND CEMENT CONCRETE MDPW SPEC M4.05.2 (RED BRICK) MDPW SPEC M4.02.00 et seq. (CEMENT CONCRETE)

PIPE TO MANHOLE CONNECTIONS SHALL BE MADE WITH CAST-IN FLEXIBLE SLEEVES (RUBBERIZED BOOTS)

OUTLET INVERT ELEVATION

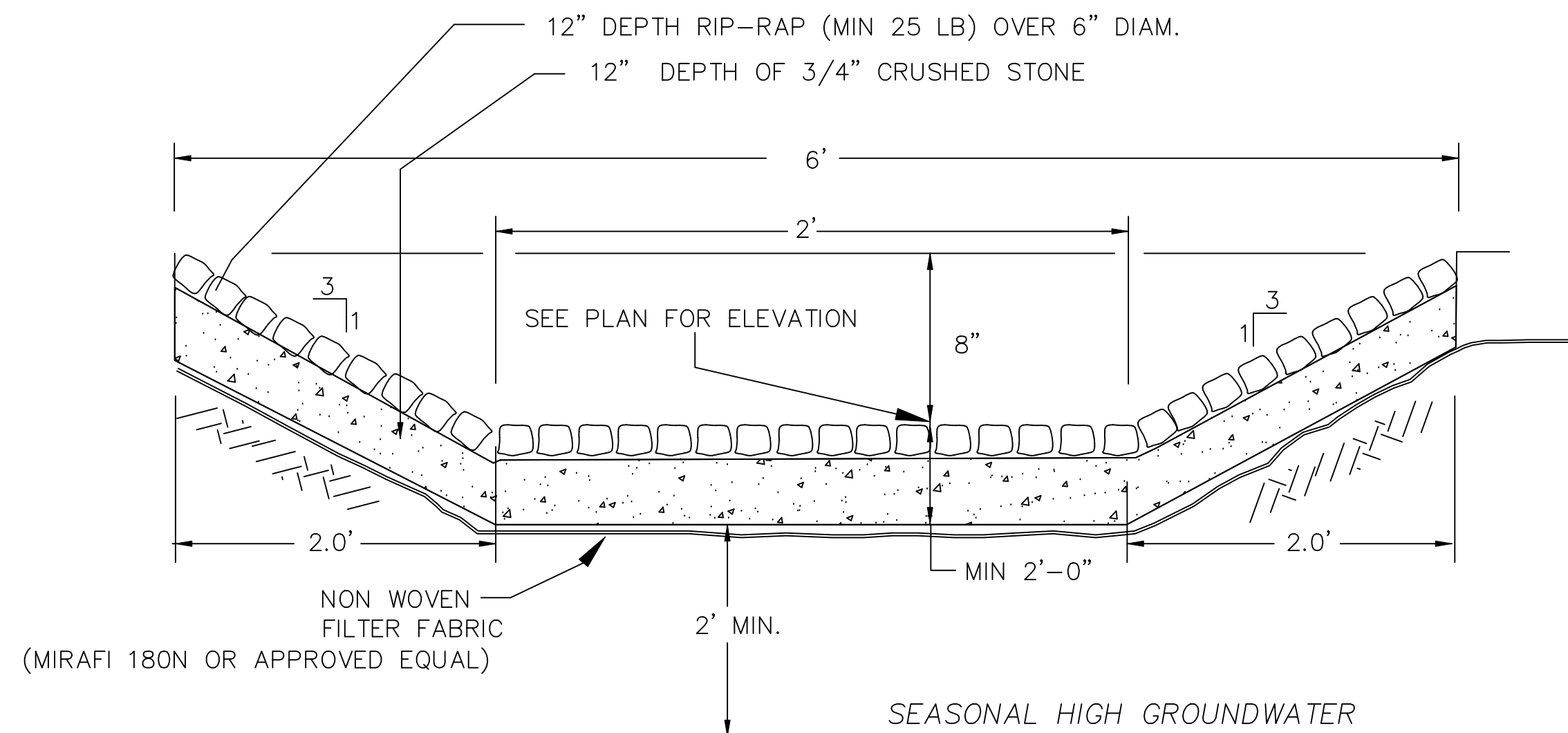
REF.: MASSACHUSETTS HIGHWAY DEPARTMENT (MDPW) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION

FOR REGISTRY OF DEEDS USE ONLY

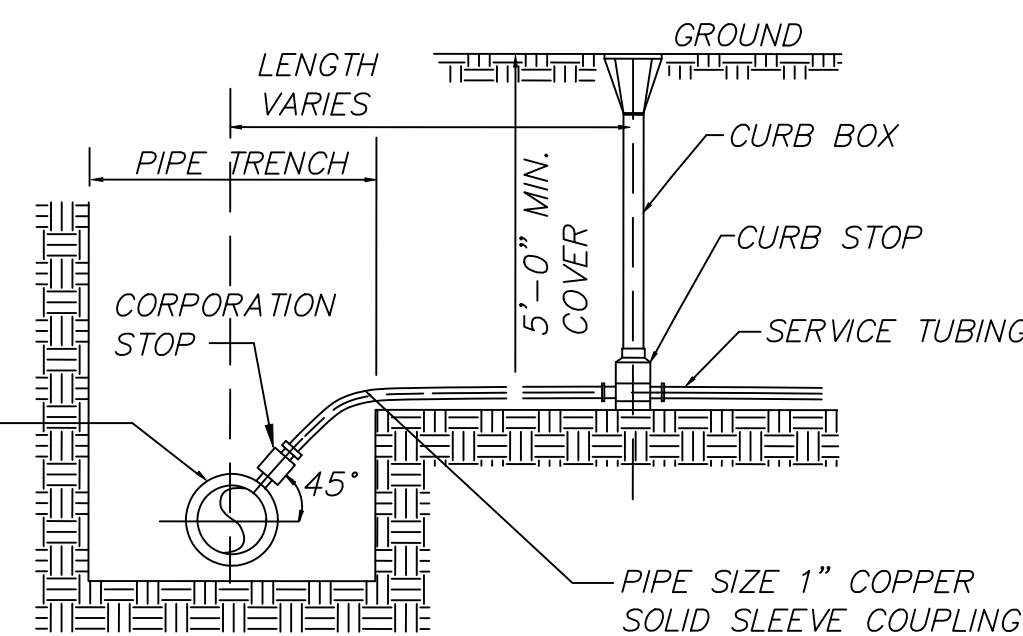
I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

JOHN D. SULLIVAN III, PE DATE

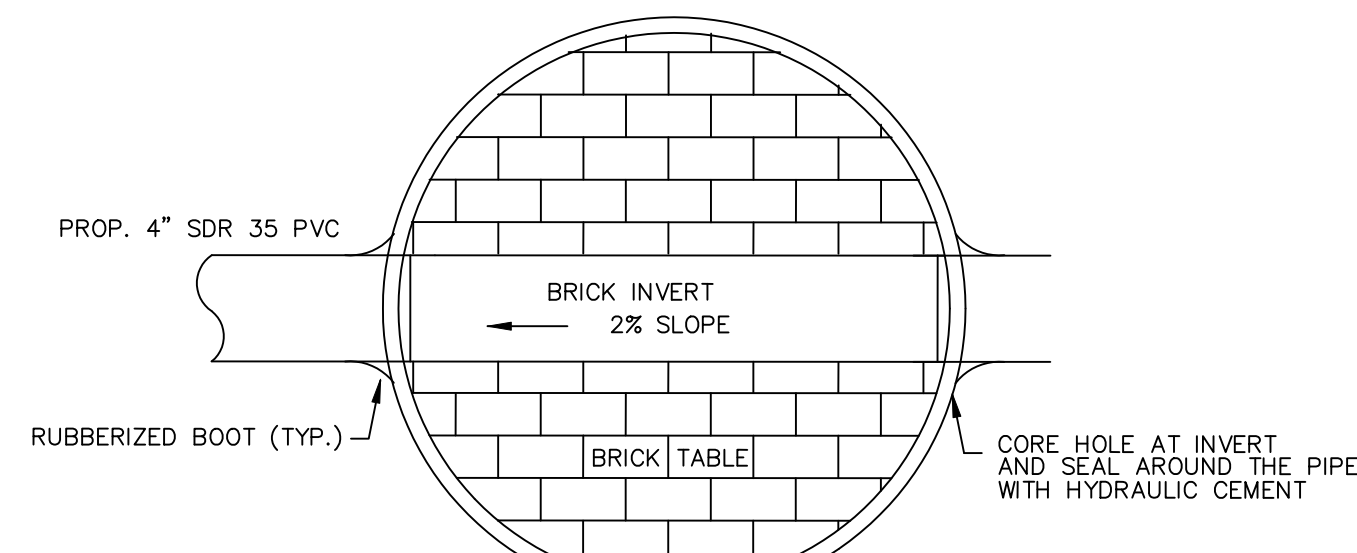
READING COMMUNITY PLANNING & DEVELOPMENT COMMISSION



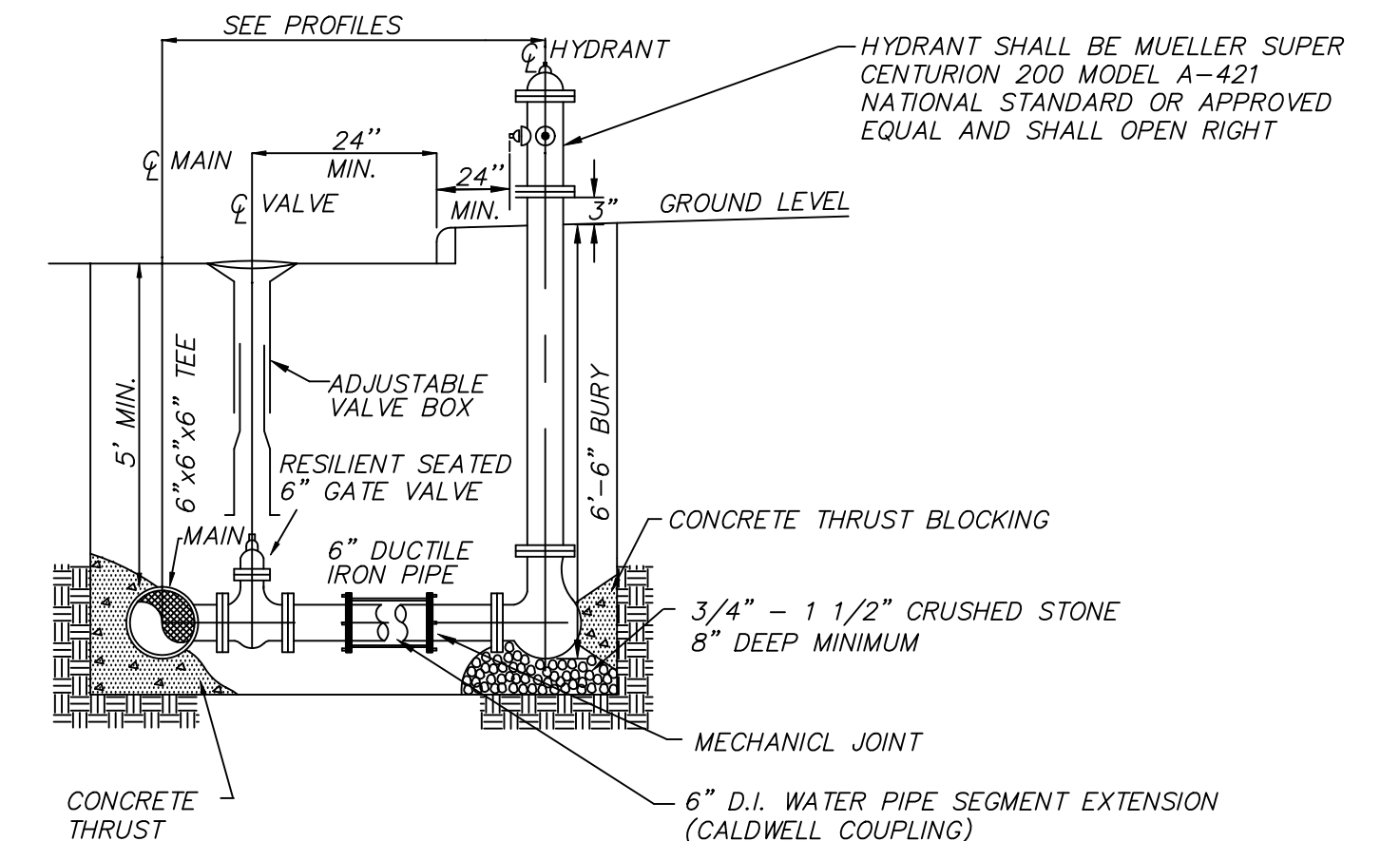
STONE INFILTRATION TRENCH NOT TO SCALE



TYPICAL WATER SERVICE (NOT TO SCALE)

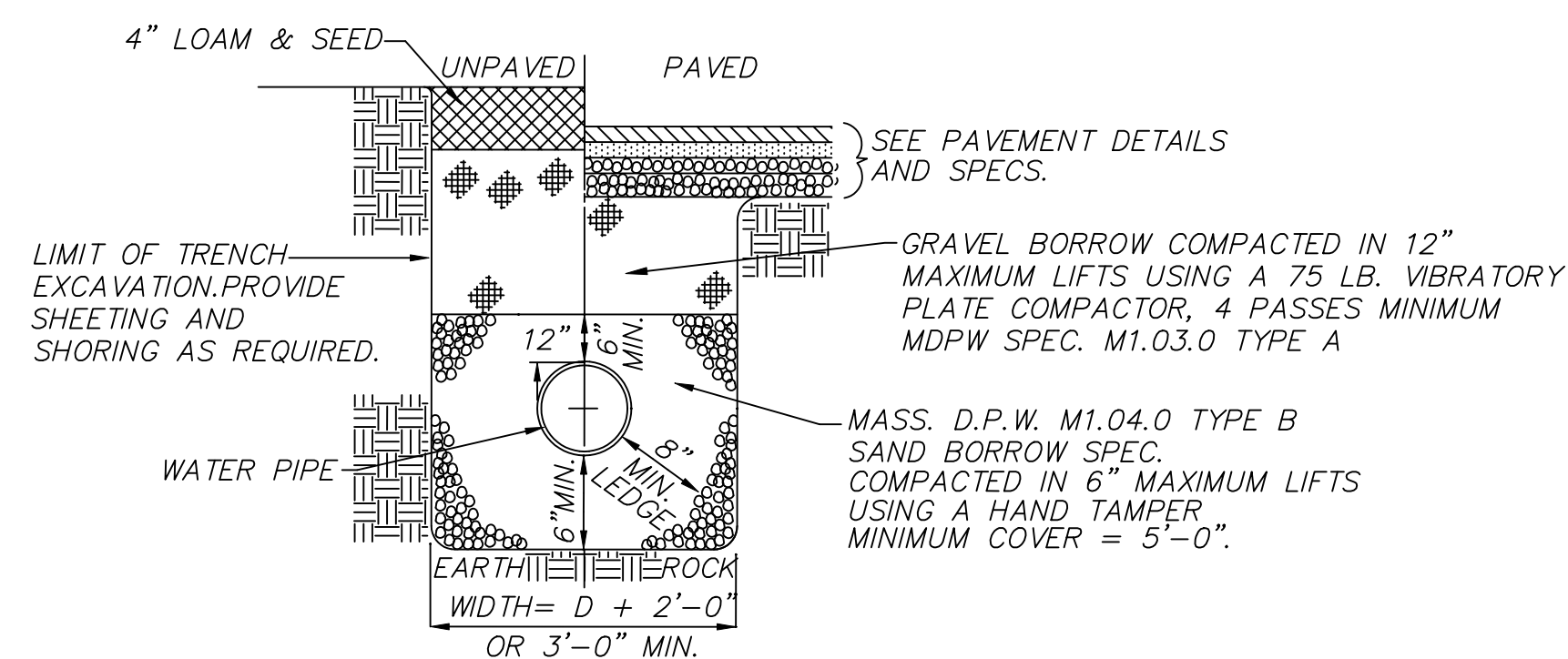


BRICK TABLE SEWER MANHOLE DETAIL (NOT TO SCALE)

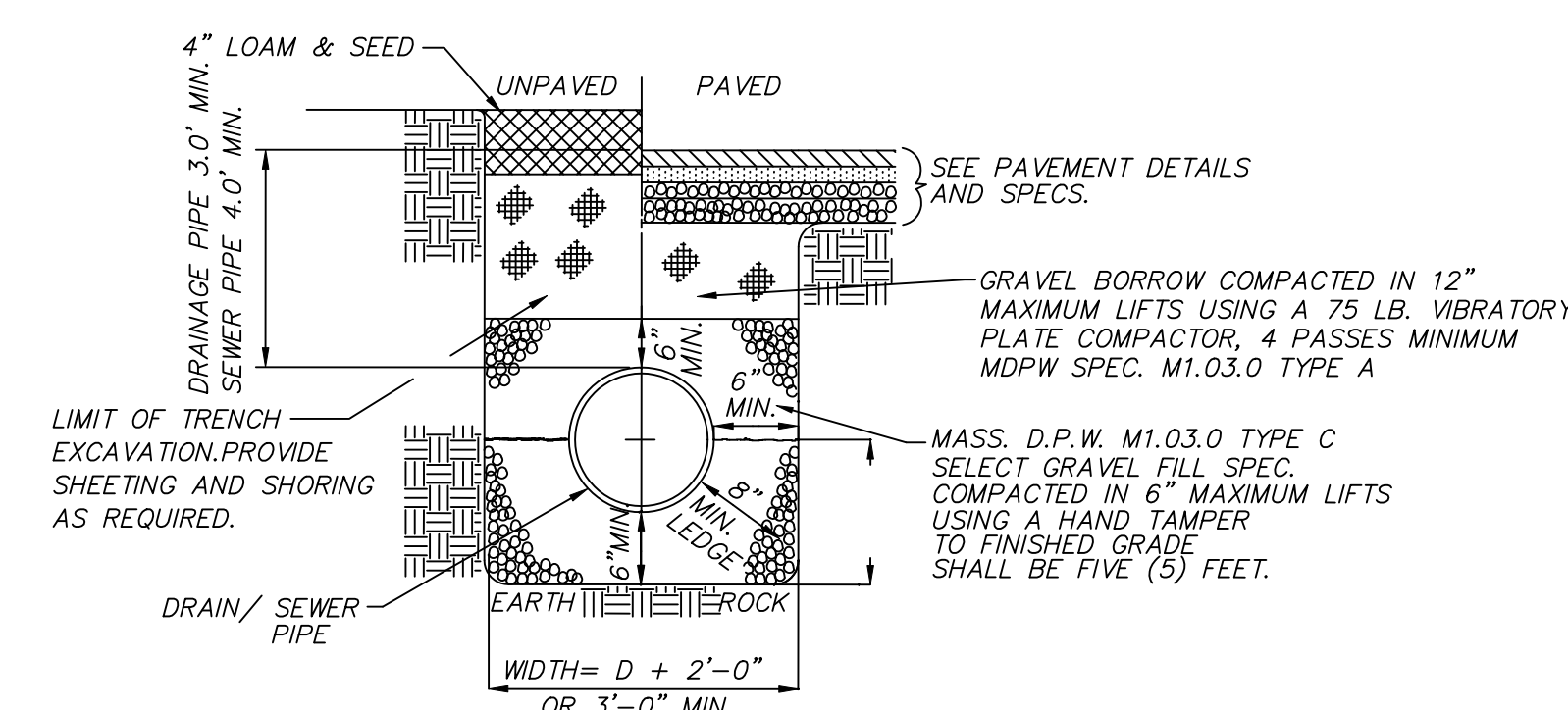


HYDRANT AND GATE VALVE DETAIL W/ MECHANICAL JOINT COUPLING (NOT TO SCALE)

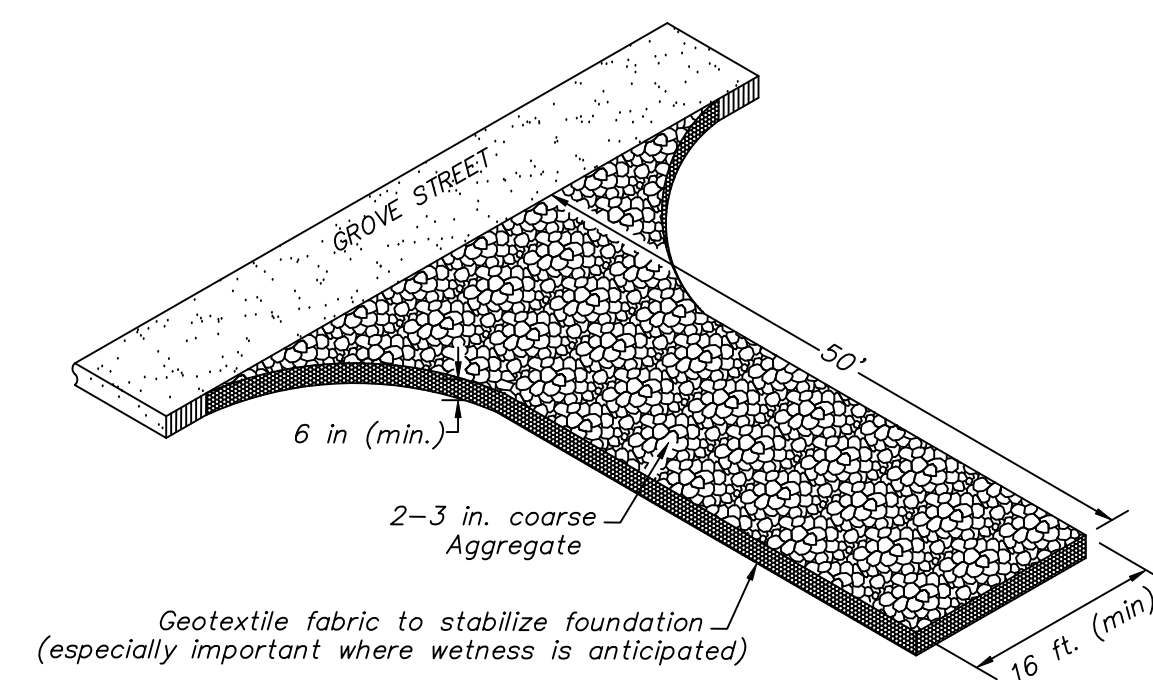
APPROVED _____, 20__



WATER TRENCH (NOT TO SCALE)



STORM DRAIN/SEWER TRENCH DETAIL (NOT TO SCALE)



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PAD (NOT TO SCALE)

NOTE: CONSTRUCT "TEMPORARY CONSTRUCTION ENTRANCE" AS SHOWN ON DETAIL PLAN PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES. ALL CONSTRUCTION VEHICLES SHALL EXIT THE SITE OVER THIS "TEMPORARY CONSTRUCTION ENTRANCE". THE CONTRACTOR SHALL USE THIS AREA TO REMOVE SOIL FROM THE TIRES OF CONSTRUCTION VEHICLES. "TEMPORARY CONSTRUCTION ENTRANCE" TO CONSIST OF SIX TO TWELVE INCHES OF TWO TO THREE INCH STONE.

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	12/1/20	24 PAVED ROADWAY	JDS	JDS

SMALL LANE EXTENSION

CONSTRUCTION DETAILS LOCATED IN READING, MASSACHUSETTS (MIDDLESEX COUNTY)

PREPARED FOR DEL REY R.T.

SCALE: N.T.S. DATE: JULY 27, 2020

PREPARED BY SULLIVAN ENGINEERING GROUP, LLC P.O. BOX 2004 WOBURN, MA 01888 (781) 854-8644

