

- LEGEND:**
- 248--- TWO FOOT CONTOUR
 - 92x00 SPOT GRADE
 - DECIDUOUS TREE/DIAMETER
 - CONIFEROUS TREE/DIAMETER
 - UTILITY POLE
 - SEWER MANHOLE
 - SEWER MAIN
 - COMPILED SEWER SERVICE
 - COMPILED WATER MAIN
 - COMPILED WATER SERVICE
 - DRAIN MANHOLE
 - CATCHBASIN
 - DRAIN LINE
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - VGC VERTICAL GRANITE CURB
 - INV INVERT
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - LOOSE STONEWALL
 - TREELINE
 - FF FINISH FLOOR
 - (83.3) PROP. SPOT GRADE
 - PRD PROP. ROOF DRAIN (4" HDPE)
 - PROP. 3" CALIPER NATIVE TREE
 - TD PROP. TRENCH DRAIN

ZONING INFORMATION:

ENTIRE PROPERTY LOCATED WITHIN THE AQUIFER PROTECTION DISTRICT

S-40 DISTRICT
MIN. LOT SIZE: 40,000 S.F.
MIN. LOT FRONTAGE: 200 FEET

MIN. BUILDING SETBACKS:
FRONT: 20 FEET
SIDE: 15 FEET
REAR: 20 FEET

% BUILDING COVERAGE: 25%
MAX. BUILDING HEIGHT: 35 FEET

- NOTES:**
- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PARTIAL FIELD SURVEY CONDUCTED ON FEB. 26-29, 2024 BY SULLIVAN ENGINEERING GROUP, LLC
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. THE DESIGN ENGINEER DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
 - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - THE ELEVATIONS DEPICTED HEREON WERE BASED UPON THE 1988 NAVD.
 - THE PROP. BUILDING AREA IS NOT LOCATED WITHIN A FLOOD ZONE AS DEPICTED ON THE LATEST FLOOD INSURANCE RATE MAP.

IMPERVIOUS AREAS:

	EXISTING	PROPOSED
BUILDING:	3,000 S.F.	4,800 S.F.
CONCRETE:	466 S.F.	25 S.F.
RET. WALL:	0 S.F.	108 S.F.
PAVEMENT:	0 S.F.	1,722 S.F.
TOTAL:	3,466 S.F.	6,655 S.F.

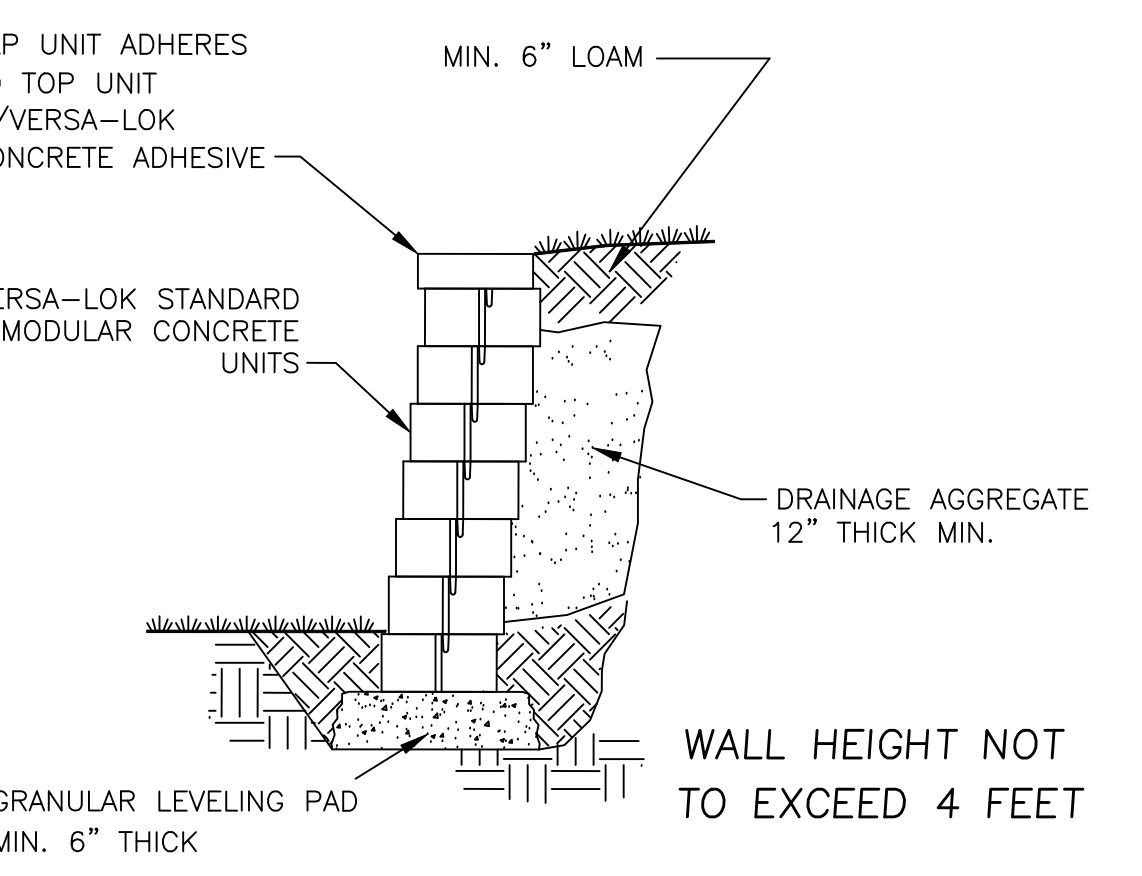
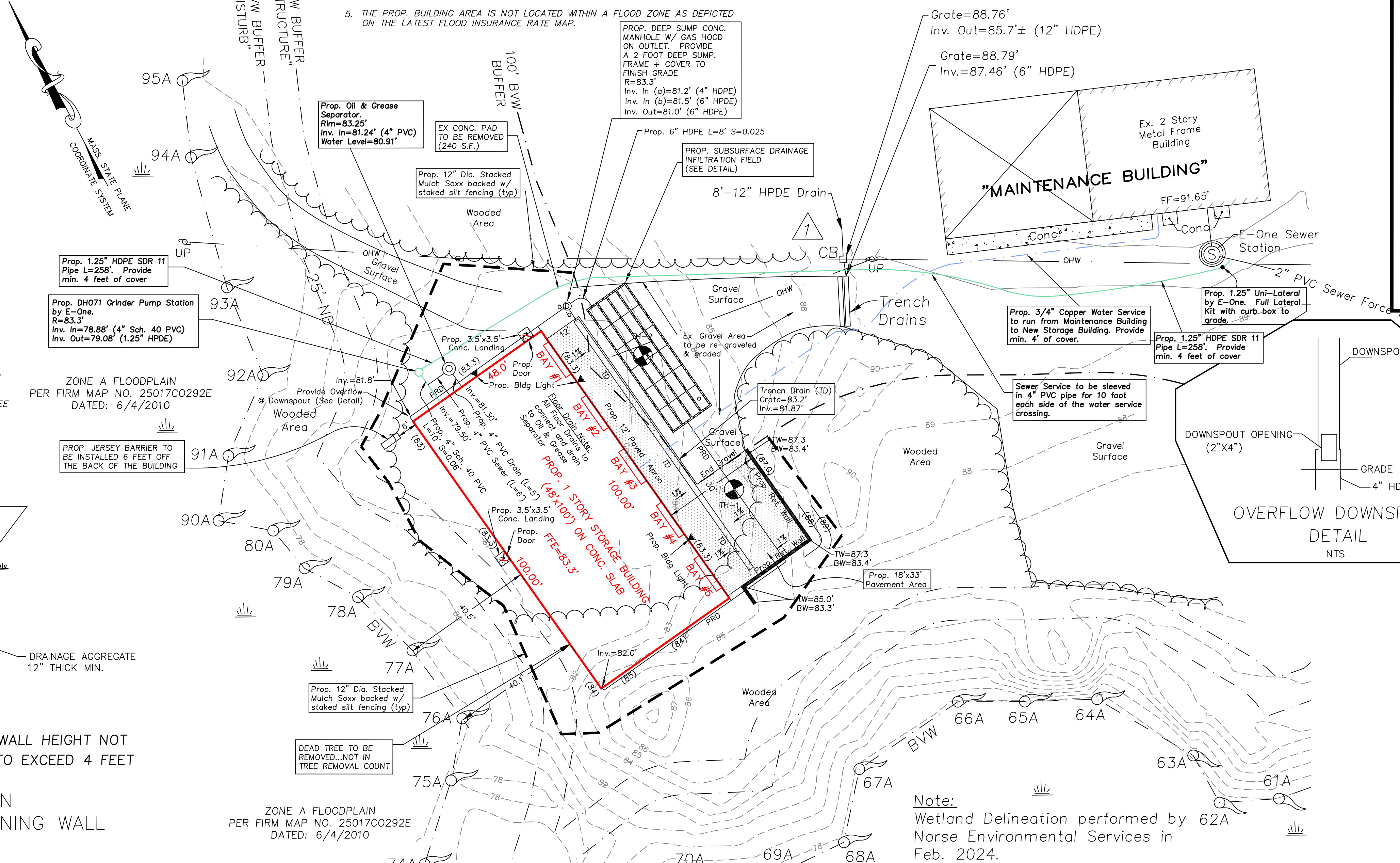
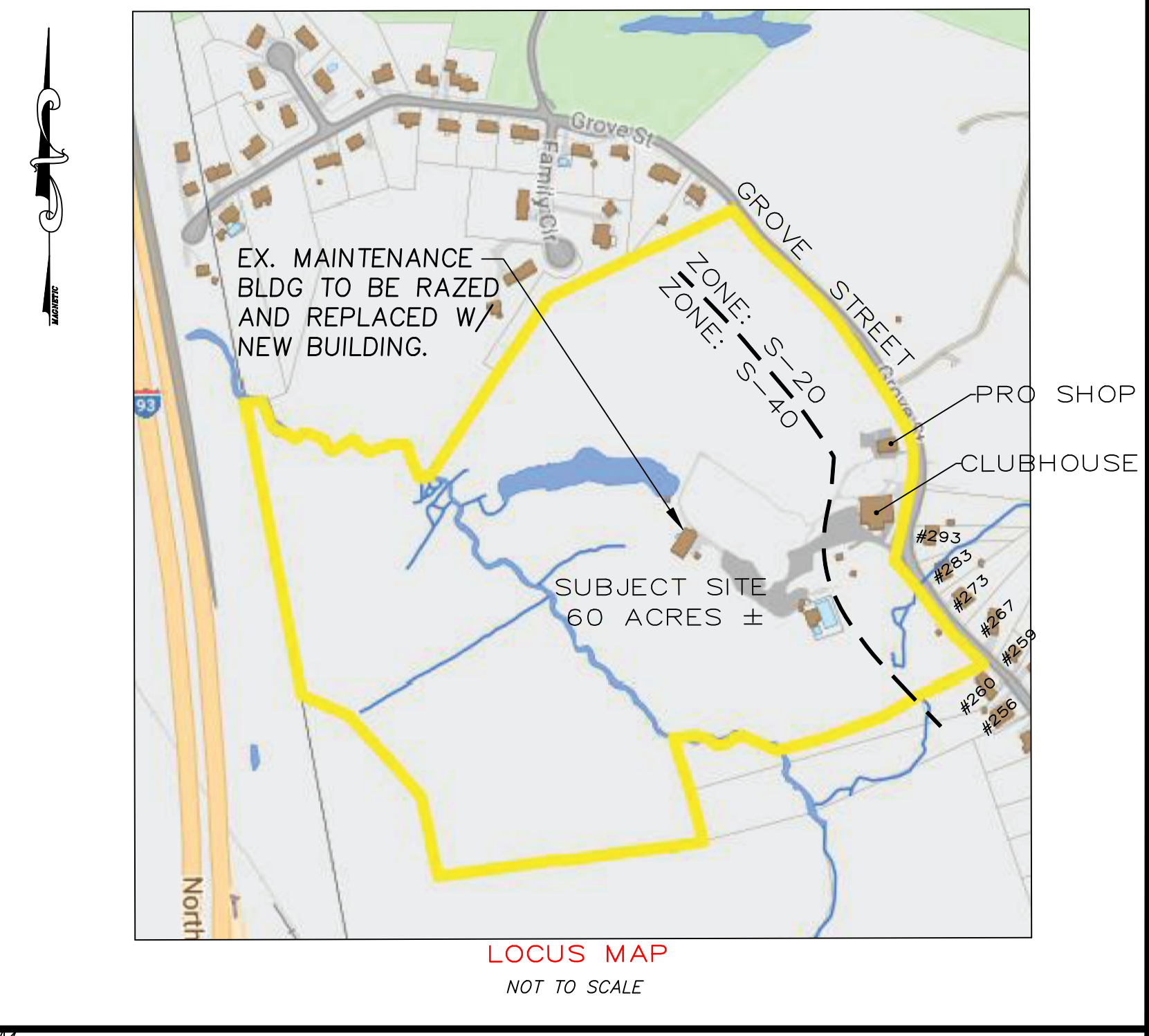
INCREASE IN IMPERVIOUS AREA: +3,189 S.F.

ENTIRE NEW BUILDING (4,800 S.F.) ROOF TO BE MITIGATED FOR THE 2 & 10 YEAR RAINFALL EVENT..... THEREFORE A NET EFFECTIVE REDUCTION OF 1,611 S.F. OF IMPERVIOUS AREAS.

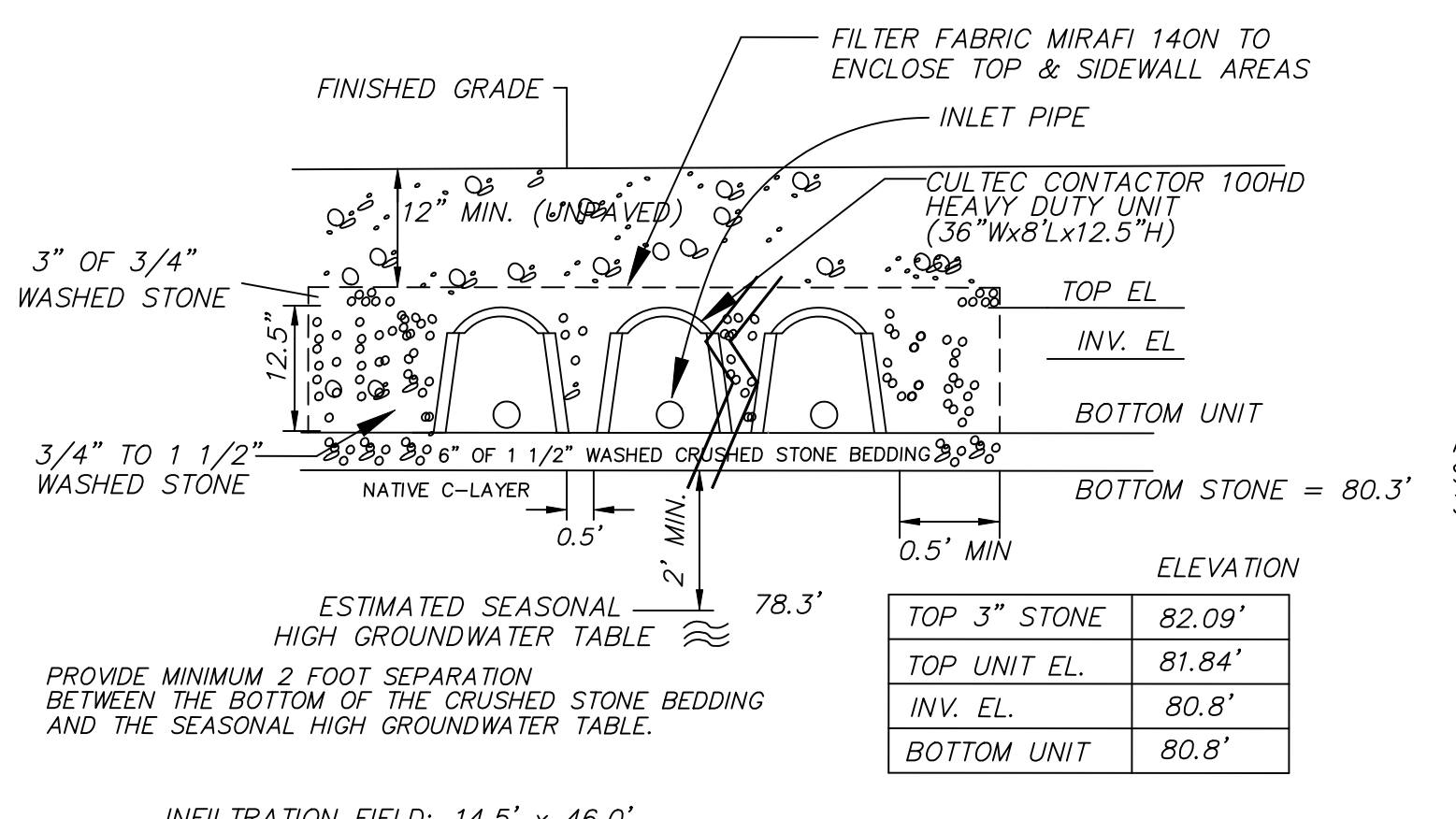
TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
1	CATCHBASIN GRATE	88.76'

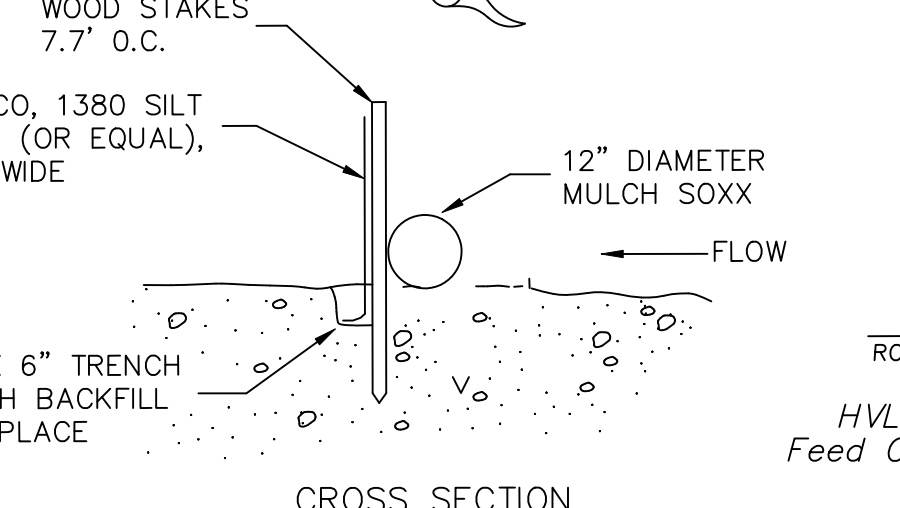
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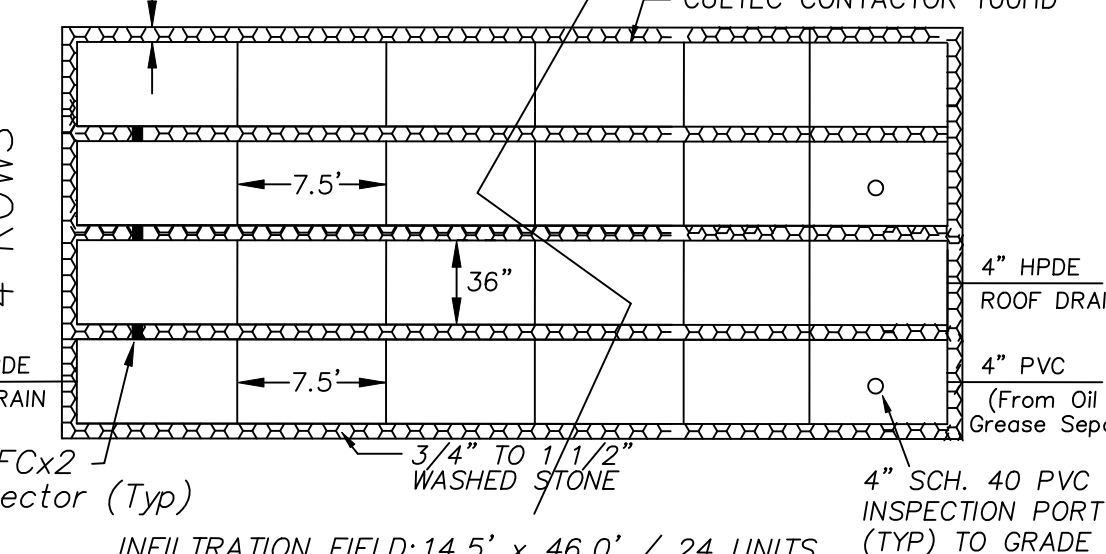
TYPICAL SECTION UNREINFORCED RETAINING WALL
SCALE: NONE



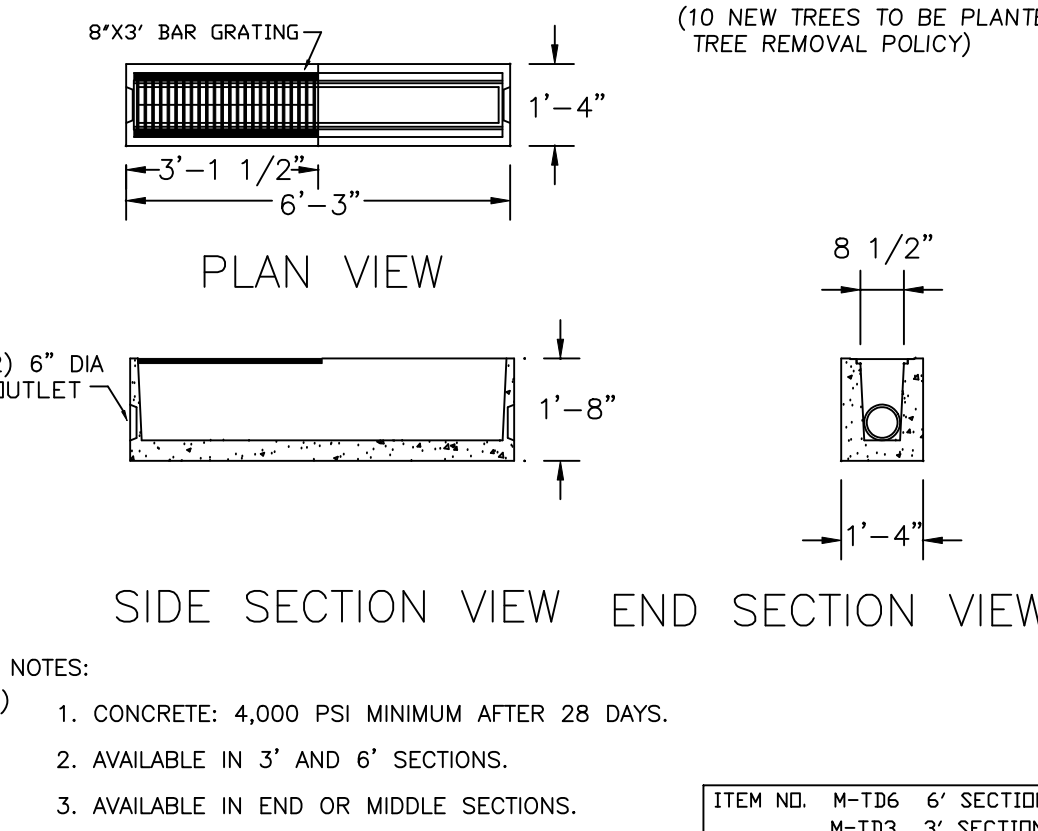
SUBSURFACE INFILTRATION SYSTEM - CROSS SECTION
(NOT TO SCALE)



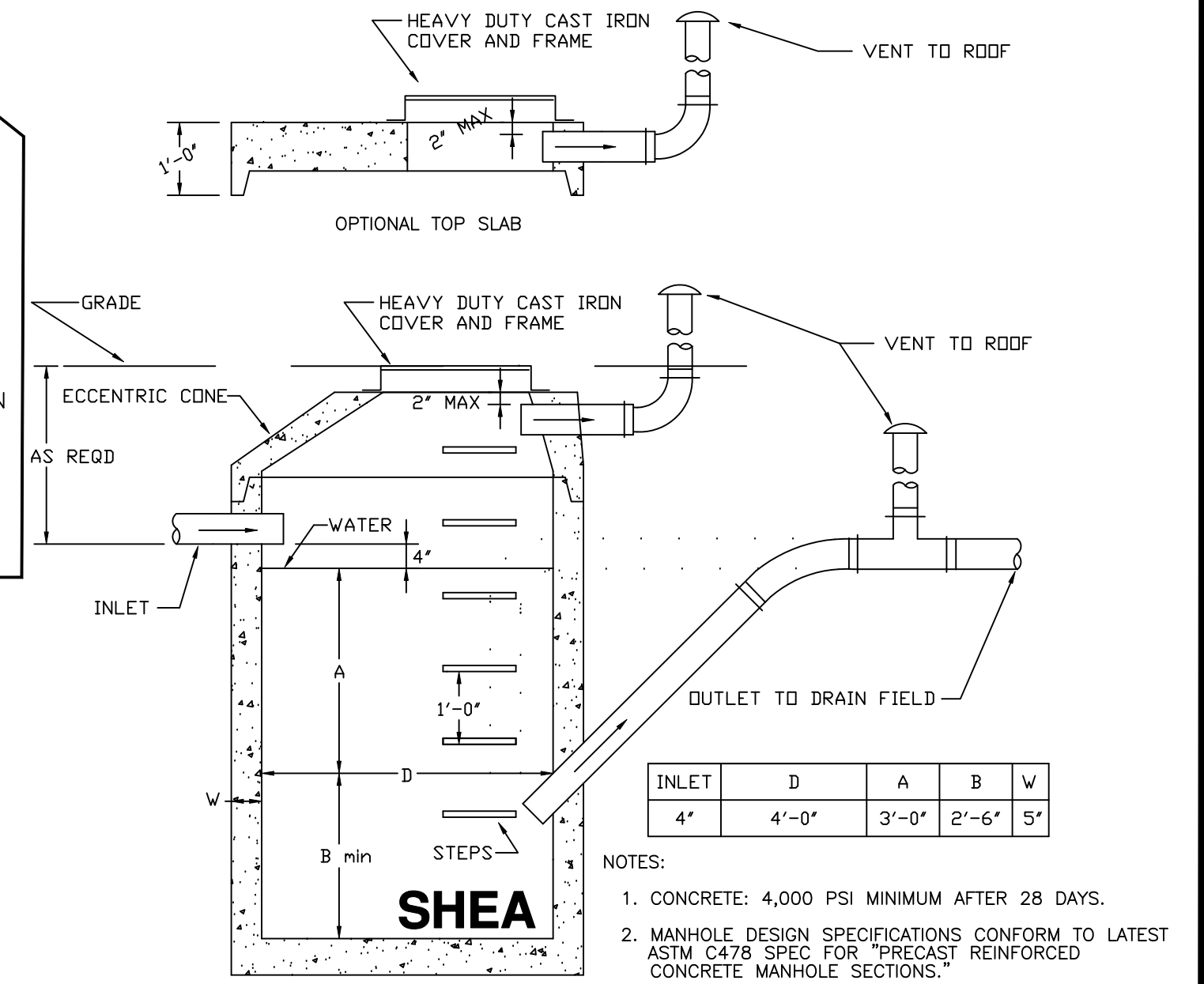
EROSION CONTROL BARRIER
(NOT TO SCALE)



SUBSURFACE INFILTRATION SYSTEM
(NOT TO SCALE)



TRENCH DRAIN (OR SIMILAR)



OVERFLOW DOWNSPOUT DETAIL NTS

SOILS INFORMATION:

SOIL EVALUATOR: JOHN D. SULLIVAN III (LIC. # 2378)
SOIL TESTING DATE: 1/14/2025

TEST PIT: TH-1	TEST PIT: TH-2
ELEV. = 84.5'	ELEV. = 82.8'
0"-84" LAYER C: M-C SAND, 20% STONE, 20% BOULDERS	0"-70" LAYER C: M-C SAND, 15% STONE, 10% BOULDERS
WATER WEeping @ NONE	WATER WEeping @ NONE
DISTINCT MOTTLES @ NONE	DISTINCT MOTTLES @ 54" (ELEV.=78.3')

288 GROVE STREET MEADOWBROOK GOLF CLUB STORAGE BUILDING REPLACEMENT

LOCATED IN READING, MASSACHUSETTS (MIDDLESEX COUNTY)

PREPARED FOR MEADOWBROOK GOLF CLUB
SCALE: 1" = 20' DATE: MARCH 30, 2025

PREPARED BY SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004 WOBURN, MA 01888 (781) 854-8644

REVISED: 6/11/25, 6/26/25, 10/9/25

