

Reading Center for Active Living (ReCAL) + Outdoor Community Pickleball Courts

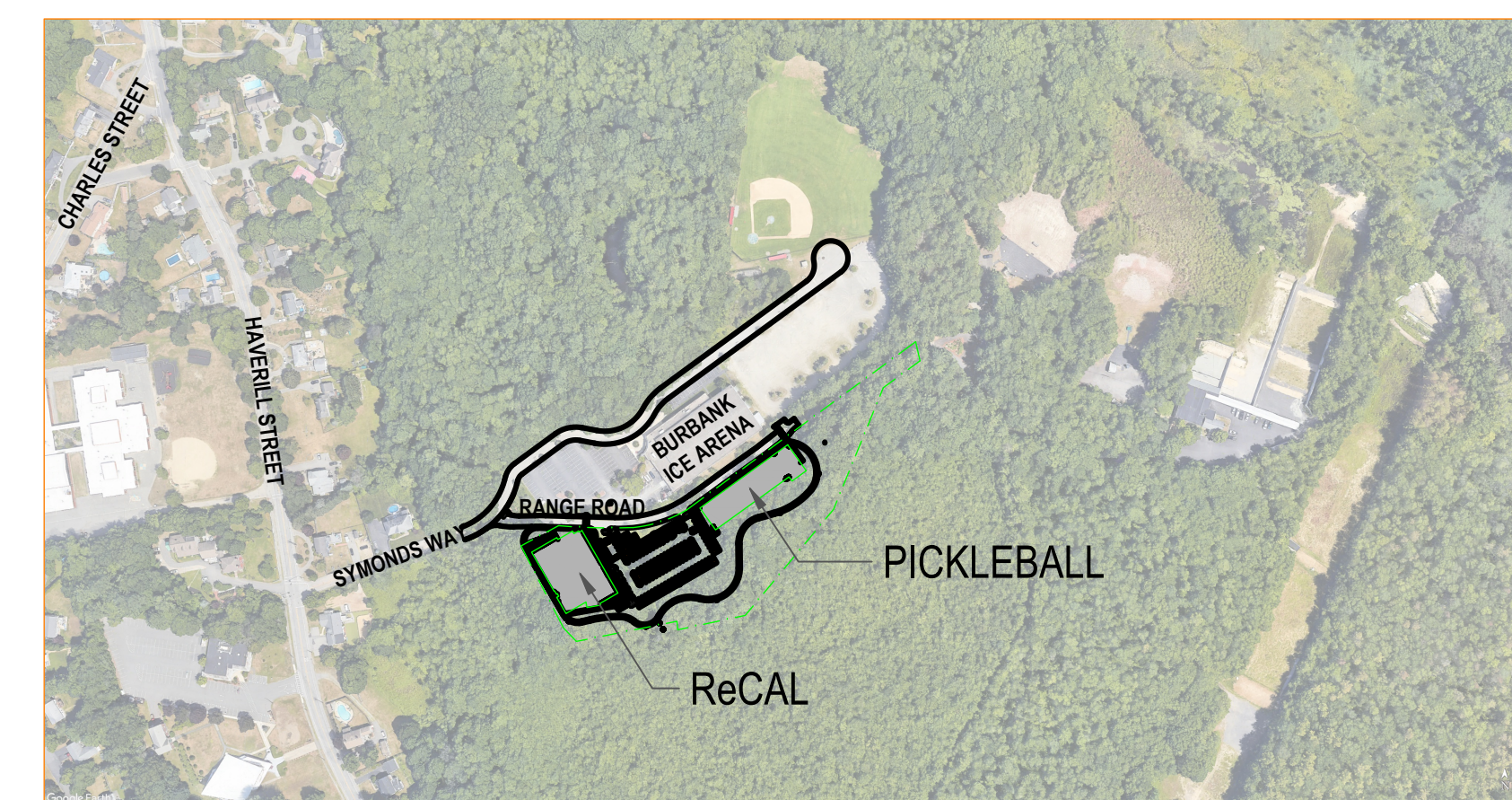
Drawing List

Cover Sheet
Master Plan

- Survey Boundary & Wetland Location Survey 1 of 1
- Survey Boundary, Partial Topographic & Utility Survey 1 of 2
- Survey Boundary, Partial Topographic & Utility Survey 2 of 2

- SP101 Site Preparation and Erosion Control Plan
- SP102 Site Preparation and Erosion Control Detail Sheet
- L101 Layout and Materials Plan
- L102 Grading and Utility Plan
- L202 Utility Detail Sheet I
- L203 Utility Detail Sheet II
- L301 Planting Plan
- L302 Planting Detail Sheet and Planting Schedule
- L401 Fire Truck Access Plan
- L501 Detail Sheet I
- L502 Detail Sheet II
- L503 Detail Sheet III
- L504 Detail Sheet IV
- L505 Detail Sheet V

- E001 Electrical Site Plan
- E002 Electrical Site Plan



Locus Plan
1" = 400'-0"

Notice Of Intent Review Submission

NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION

ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
617 350 0450

PROJECT NAME

**Reading Center for
Active Living (ReCAL)**
+

**Outdoor Community
Pickleball Courts**

Symonds Way
Reading, MA 01867

CLIENT

Town of Reading
16 Lowell Street
Reading, MA 01867

PROJECT TEAM

Civil and Landscape Engineer

Activitas
70 Milton Street
Dedham, MA 02026
(781) 326-2600

Structural Engineer

Foley Buhl Roberts & Associates, Inc.
2227 Washington Street
Newton, MA 02462
(617) 527-9600

MEFP Engineer

Allied Consulting Engineering
270 Littleton Road, Suite 11
Westford, MA 01886
(978) 443-7888

AV / IT / Security

Building Technology Consulting
982 Bedford St.
Bridgewater, MA 02324
(617) 799-4309

Food Service

Colburn Guyette
100 Ledgewood Pl #104
Rockland, MA 02370
(781) 826-5522

Wetland Scientist

Epsilon Associates, Inc.
3 Mill and Main Place, Suite 250
Maynard, MA 01754
(978) 897-7100

REVISIONS

PLANNING - CONSERVATION COMMENTS - 8/13/25

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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| | | |
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DRAWING TITLE

Cover Sheet

DRAWING INFORMATION

| | |
|------------|------------------------------|
| 07/09/2025 | DATE OF ISSUE |
| | NOTICE OF INTENT DESCRIPTION |
| 1"=30'-0" | AJA SCALE |
| 3513 | PROJECT # |
| | FILE NAME |

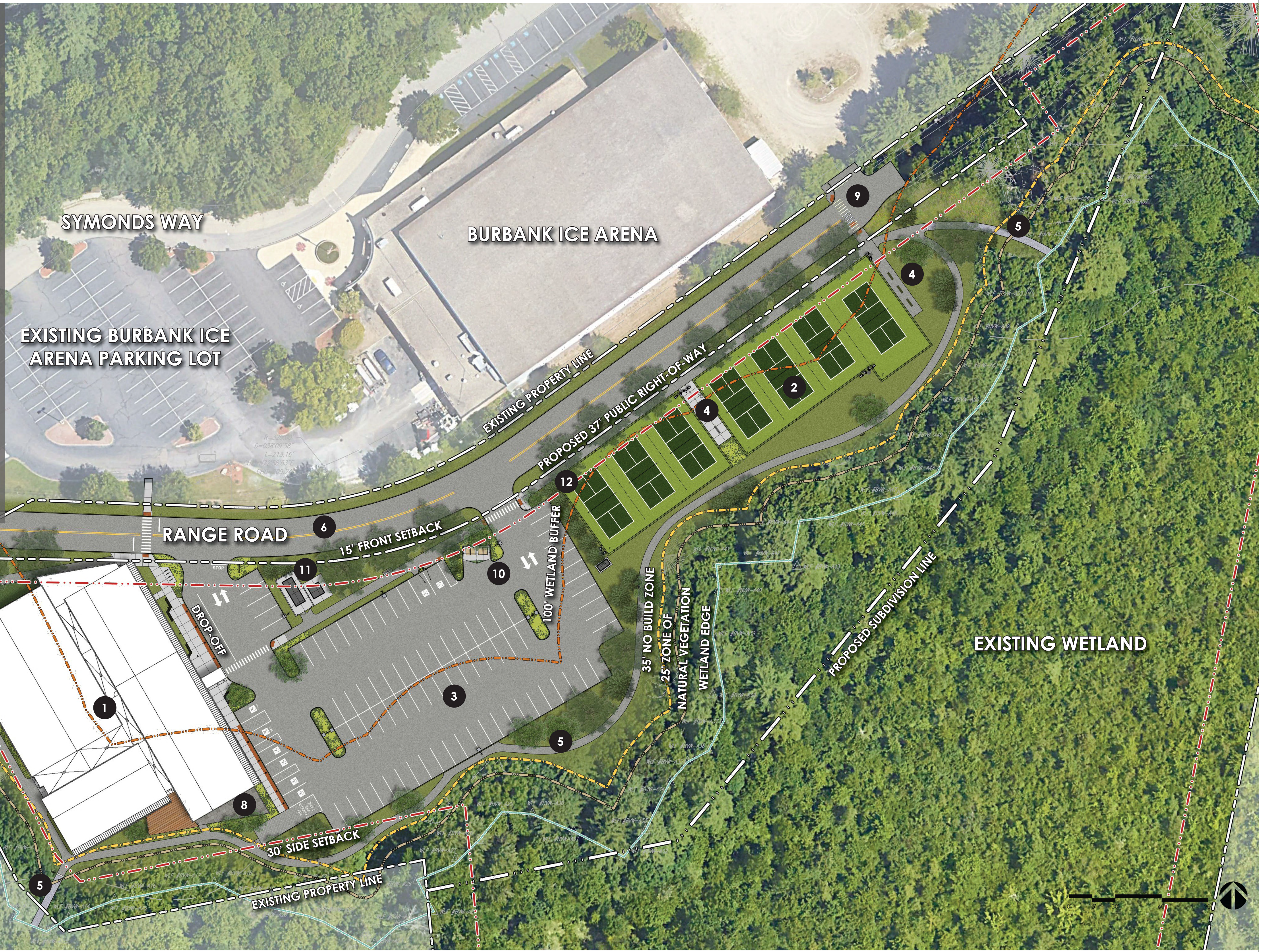
DRAWING NUMBER

Cover

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MASTER PLAN LEGEND

- 1 CENTER FOR ACTIVE LIVING | ± 27,600 SF
- 2 PICKLEBALL COURTS | 7 TOTAL COURTS
6 RECREATION SIZED COURTS
1 ACCESSIBLE SIZED COURT
- 3 RECAL PARKING LOT
89 TOTAL PROPOSED SPACES
- 4 PICKLEBALL WAITING/VIEWING AREA
- 5 PAVED TRAIL WITH STONE DUST PAVEMENT
EXTENSIONS FOR FUTURE BOARDWALK PROJECT
- 6 RANGE ROAD EXPANSION | 24' WIDE
PROPOSED 37' WIDE PUBLIC RIGHT OF WAY
- 7 NON-INFILLED SYNTHETIC TURF MULTI-USE SPACE
- 8 OUTDOOR PATIO
- 9 ACCESSIBLE CONNECTION TO BURBANK ICE ARENA
REAR PARKING LOT FOR PICKLEBALL PARKING
- 10 DUMPSTER ENCLOSURE WITH SOLID WOOD FENCING
- 11 GENERATOR ENCLOSURE WITH SOLID WOOD
FENCING AND PAD MOUNTED TRANSFORMER
- 12 EVERGREEN SCREENING AND ACOUSTI-BLOK
SOUNDPROOF PANELING AT END OF PICKLEBALL
COURT FENCING



REVISIONS

| PLANNING - CONSERVATION COMMENTS - 8/13/25 | DATE |
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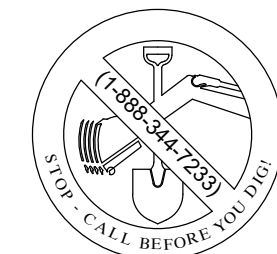
DRAWING TITLE
Master Plan

DRAWING INFORMATION

07/09/2025
 DATE OF ISSUE
 NOTICE OF INTENT
 DESCRIPTION
 MTS/07 SCALE AJA DRAWN BY
 3513 PROJECT # FILE NAME

DRAWING NUMBER
Master Plan
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CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS SURVEY IS THE ORIGINAL PROJECT OR A COPY THEREOF. ANY REPRODUCTION OR TRANSMISSION OF THIS SURVEY WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



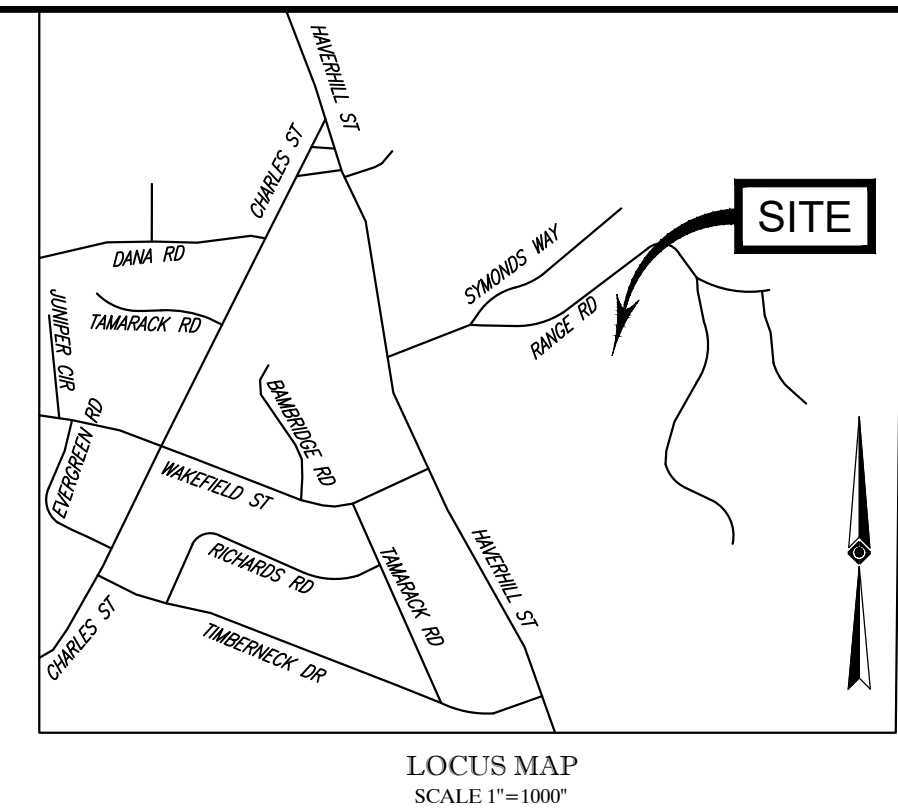
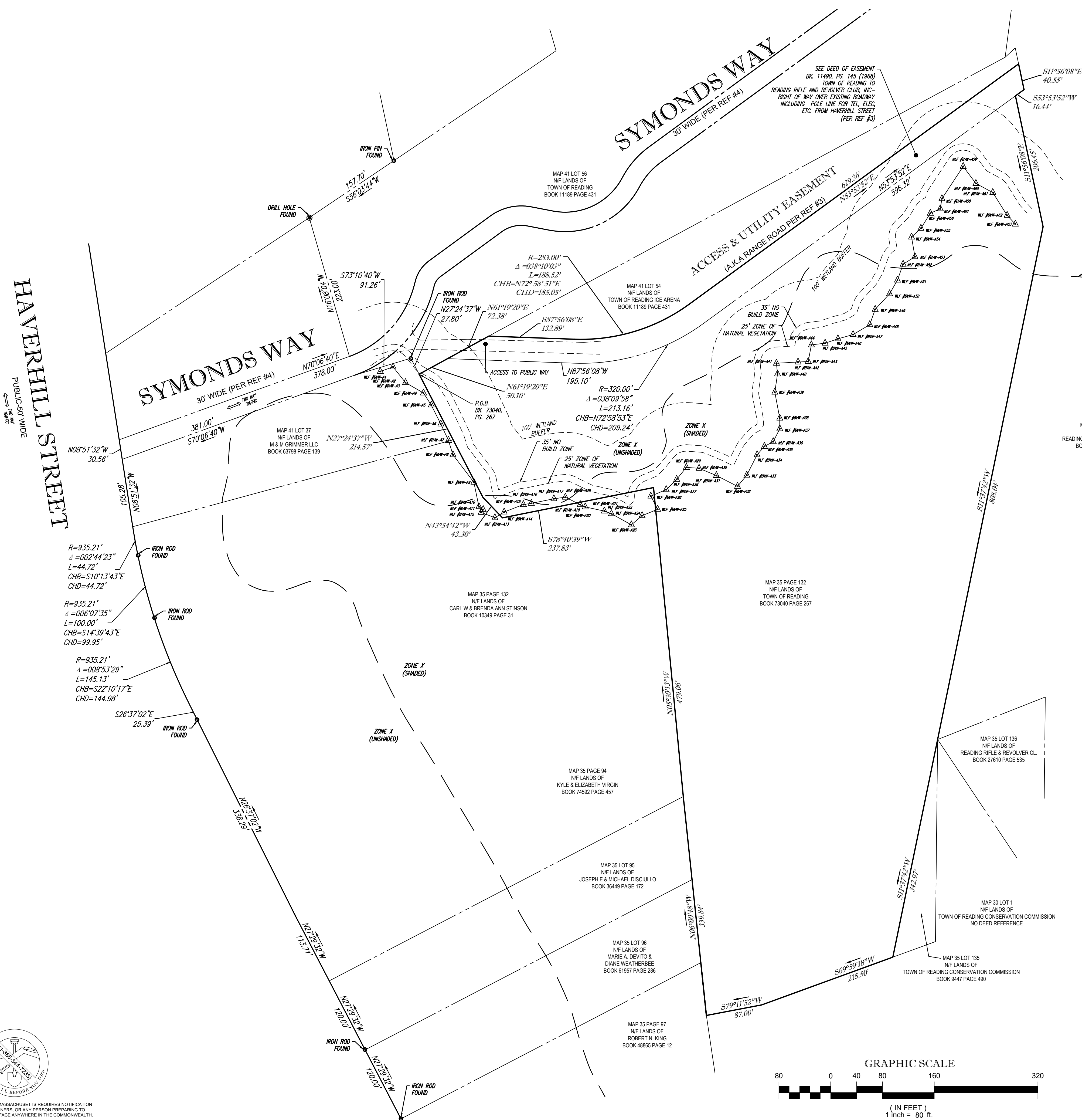
THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

HAVERHILL STREET
PUBLIC-50 WIDE

SYMONDS WAY
30' WIDE (PER REF #4)

SYMONDS WAY
30' WIDE (PER REF #4)

ACCESS & UTILITY EASEMENT
(A.K.A RANGE ROAD PER REF #9)



LEGEND

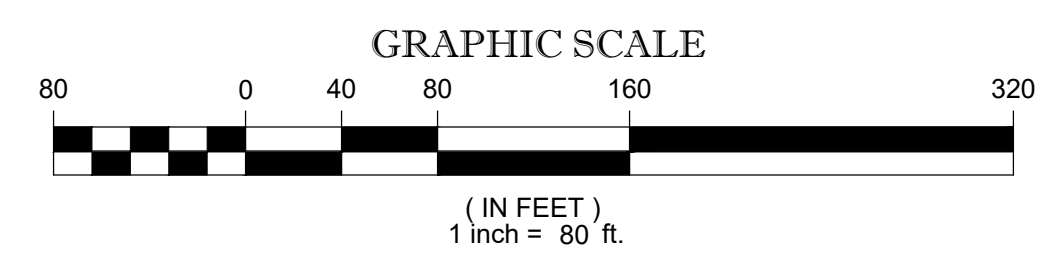
| | |
|--|--------------------|
| | DELINEATION FLAG |
| | POINT OF BEGINNING |

NOTES:

- PROPERTY KNOWN AS LOT 133 AS SHOWN ON THE TOWN OF READING, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 35.
- AREA = 648,023 SQUARE FEET OR 14,831 ACRES.
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
- EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ZONE X SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVES FROM 1% ANNUAL CHANCE FLOOD, PER REF. #2).
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THE DELINEATION LINE WAS PLACED IN THE FIELD BY WESTON & SAMPSON ON 03/23/2022, AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. ON 03/31/2022.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF READING, MIDDLESEX COUNTY, MAP 35, LOT 133.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF NORTH READING, TOWN OF READING, MIDDLESEX COUNTY, PANEL 312 OF 656," MAP NUMBER 25017C0312E, EFFECTIVE JUNE 4, 2010.
- MAP ENTITLED "PLAN OF LAND IN REDDING, MASS. OWNED BY: READING RIFLE & REVOLVER CLUB, INC. P.O. BOX 212 READING, MA. 01867 PREPARED BY GARRIT CONSULTING LAND SURVEYOR - SITE PLANNING, DATED OCT. 9, 1991 AND FILED IN MIDDLESEX REGISTRY OF DEEDS SOUTHERN DISTRICT, PLAN NO. 49-(1-3) OF 1996 REC'D BOOK 25987 PAGE 226.
- MAP ENTITLED "TOWN OF READING MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STREET ACCEPTABLE PLAN SYMONDS WAY," PREPARED BY ENGINEERING DIVISION, DATED MARCH 1995, RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS SOUTHERN DISTRICT AS PLAN NO.922 OF 2003.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

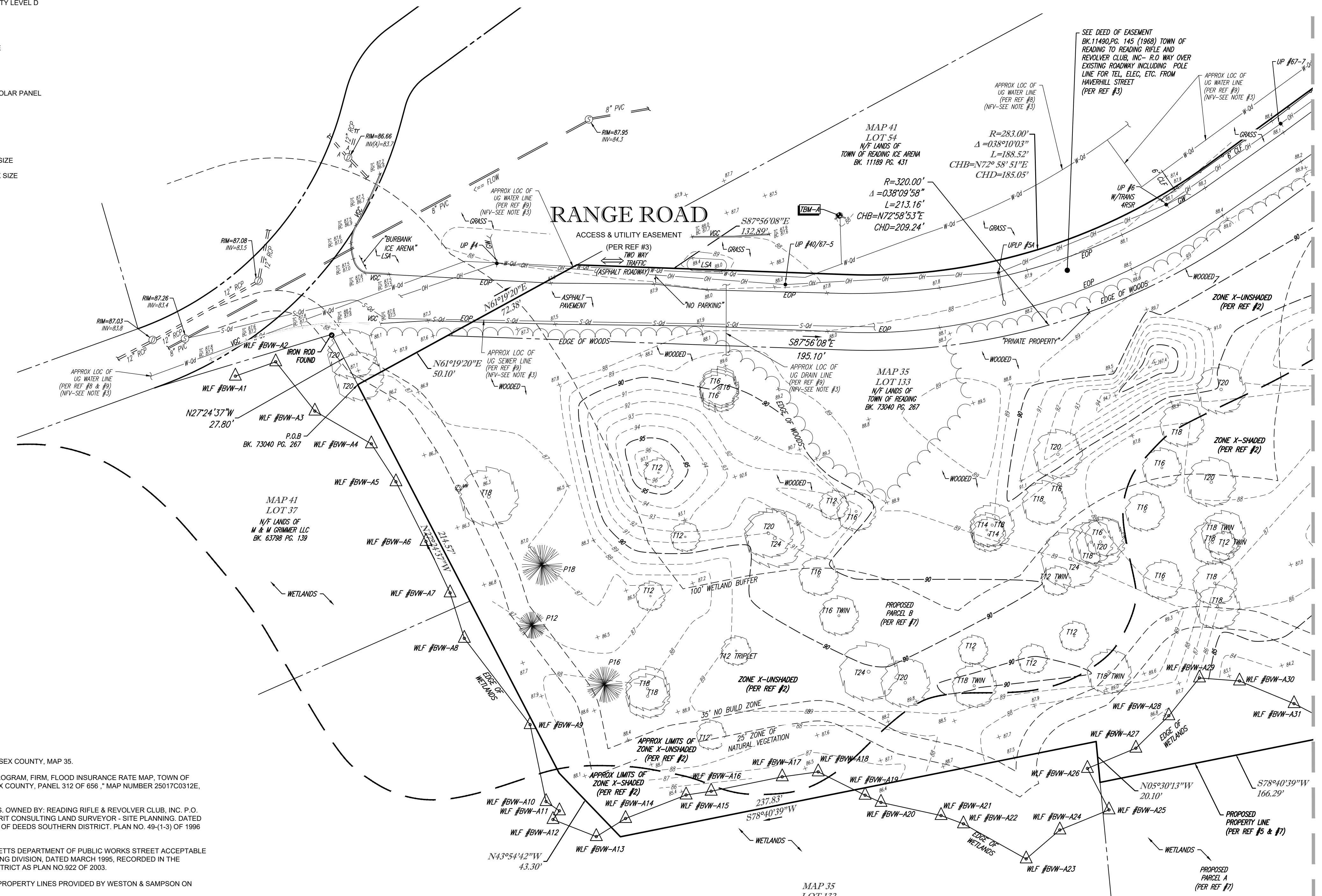
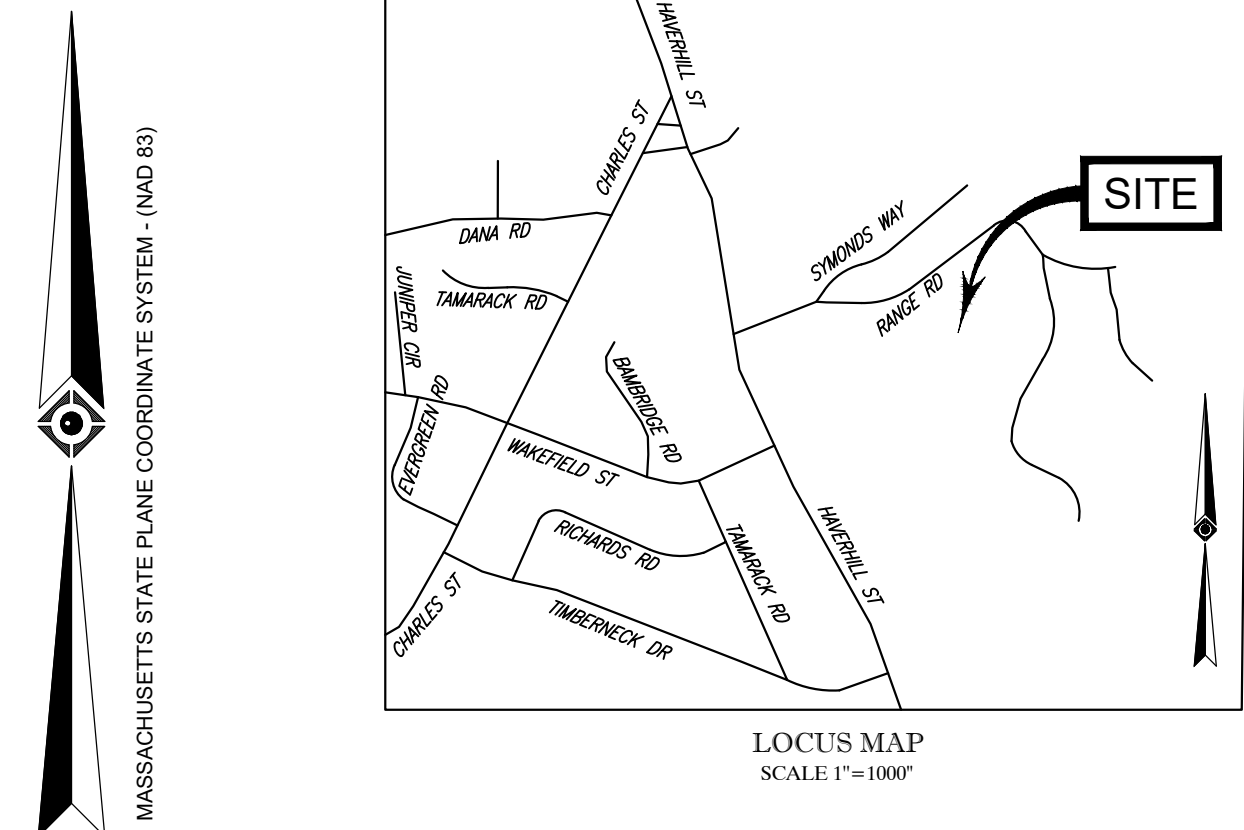


GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

| | | | | |
|--------------------------|---|-------------------|-----------------|--------------------------|
| FIELD DATE 03/03/2022 | BOUNDARY & WETLAND LOCATION SURVEY | | | |
| FIELD BOOK NO. 22 | TOWN OF READING | | | |
| FIELD BOOK PG. 22MA | HAVERHILL STREET LOT 133, MAP 35 TOWN OF READING, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS | | | |
| FIELD CREW CWZC | CONTROL POINT ASSOCIATES, INC. | | | |
| DRAWN: DLR | ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-880-2845 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-657-2999 WARREN, NJ 908-668-0999 | | | |
| REVIEWED: BAV/ELOC | APPROVED: GLH | DATE 8-14-2025 | SCALE 1"=80' | FILE NO. 03-220120-00 |
| | | DATE 8-14-2025 | | DWG. NO. 1 OF 1 |

LEGEND

- 124- EXISTING CONTOUR
- 125- EXISTING SPOT ELEVATION
- +123.45 EXIST. TOP OF CURB ELEVATION
- +123.45 EXIST. BOTTOM OF CURB ELEVATION
- OH OVERHEAD WIRES
- UW APPROX. LOC. UNDERGROUND WATER LINE
- US APPROX. LOC. UNDERGROUND SANITARY LINE
- SUBSURFACE UTILITY QUALITY LEVEL D
- HYDRANT
- SANITARY/SEWER MANHOLE
- DRAINAGE/STORM MANHOLE
- MONITORING WELL
- UTILITY POLE
- UTILITY POLE/LIGHT POLE/SOLAR PANEL
- GUY WIRE
- INVERT ELEVATION
- SIGN
- GATE POST
- DECIDUOUS TREE & TRUNK SIZE
- CONIFEROUS TREE & TRUNK SIZE
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- UNKNOWN TERMINUS
- DELINEATION FLAG
- VERTICAL GRANITE CURB



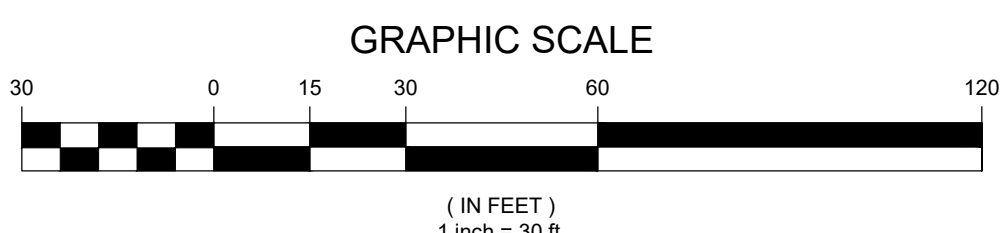
NOTES:

1. PROPERTY KNOWN AS LOT 133 AS SHOWN ON THE TOWN OF READING, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 35.
2. AREA: EXISTING LOT 133 AREA = 646,023 SQUARE FEET OR 14.831 ACRES. PROPOSED PARCEL A AREA = 431,844 SQUARE FEET OR 9.914 ACRES. PROPOSED PARCEL B AREA = 214,179 SQUARE FEET OR 4.917 ACRES.
3. LOCATION OF UNDERGROUND UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:
 - QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
 - QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
 - QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND/OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
 - QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
5. ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
6. THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR), INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON. CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
7. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS IMPORTANT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO CONVEYANCE AND THE PLACEMENT OF OR ALTERATION TO THE PROPERTY. BOUNDARY AND EASEMENT LINES ARE BASED UPON AVAILABLE DOCUMENTATION AT THE TIME OF SURVEY AND ARE SUBJECT TO SAID TITLE REPORT.
8. THIS SURVEY DOES NOT ADDRESS OWNERSHIP AND POSSIBLE RIGHTS OF ADJOINING PROPERTIES.
9. THIS SURVEY IS THE OPINION OF THE SURVEYOR AND IS NOT A LEGAL DECISION REGARDING PROPERTY BOUNDARY OR RIGHTS.
10. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ZONE X SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. PER REF. #2).
11. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. SURVEY DOES NOT ADDRESS ENVIRONMENTAL CONDITIONS OR LAND SUITABILITY.
12. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS/GNSS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNET GPS).

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF READING, MIDDLESEX COUNTY, MAP 35.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF NORTH READING, TOWN OF READING, MIDDLESEX COUNTY, PANEL 312 OF 656, MAP NUMBER 2501TC0312E, EFFECTIVE JUNE 4, 2010.
3. MAP ENTITLED "PLAN OF LAND IN READING, MASS. OWNED BY: READING RIFLE & REVOLVER CLUB, INC. P.O. BOX 212 READING, MA. 01867 PREPARED BY GARRIT CONSULTING LAND SURVEYOR - SITE PLANNING DATED OCT. 9, 1991 AND FILED IN MIDDLESEX REGISTRY OF DEEDS SOUTHERN DISTRICT, PLAN NO. 49-(1-3) OF 1996 REC'D BOOK 25987 PAGE 226.
4. MAP ENTITLED "TOWN OF READING MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STREET ACCEPTABLE PLAN SYMONDS WAY." PREPARED BY ENGINEERING DIVISION, DATED MARCH 1995, RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS SOUTHERN DISTRICT AS PLAN NO.922 OF 2003.
5. ELECTRONIC CAD FILE CONTAINING PROPOSED PROPERTY LINES PROVIDED BY WESTON & SAMPSON ON JUNE 1, 2022.
6. MAP ENTITLED "BOUNDARY & WETLAND LOCATION SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED MAY 6, 2022.
7. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED JUNE 22, 2022. NOT YET RECORDED WITH THE MIDDLESEX REGISTRY OF DEEDS.
8. MAP ENTITLED "SITE PLAN OF LAND IN READING, MASS." PREPARED BY HAYES ENGINEERING, INC. DATED JUNE 1, 1993. FILED WITH THE DEPARTMENT OF PUBLIC WORKS AS PLAN # 900-L-647.
9. WATER AND SEWER TIE CARDS PROVIDED BY THE TOWN OF READING BUILDING AND ENGINEERING DEPARTMENT.
10. CAD FILE WITH RELOCATED WETFLAGS PROVIDED BY WESTON & SAMPSON ON JUNE 19, 2025.

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THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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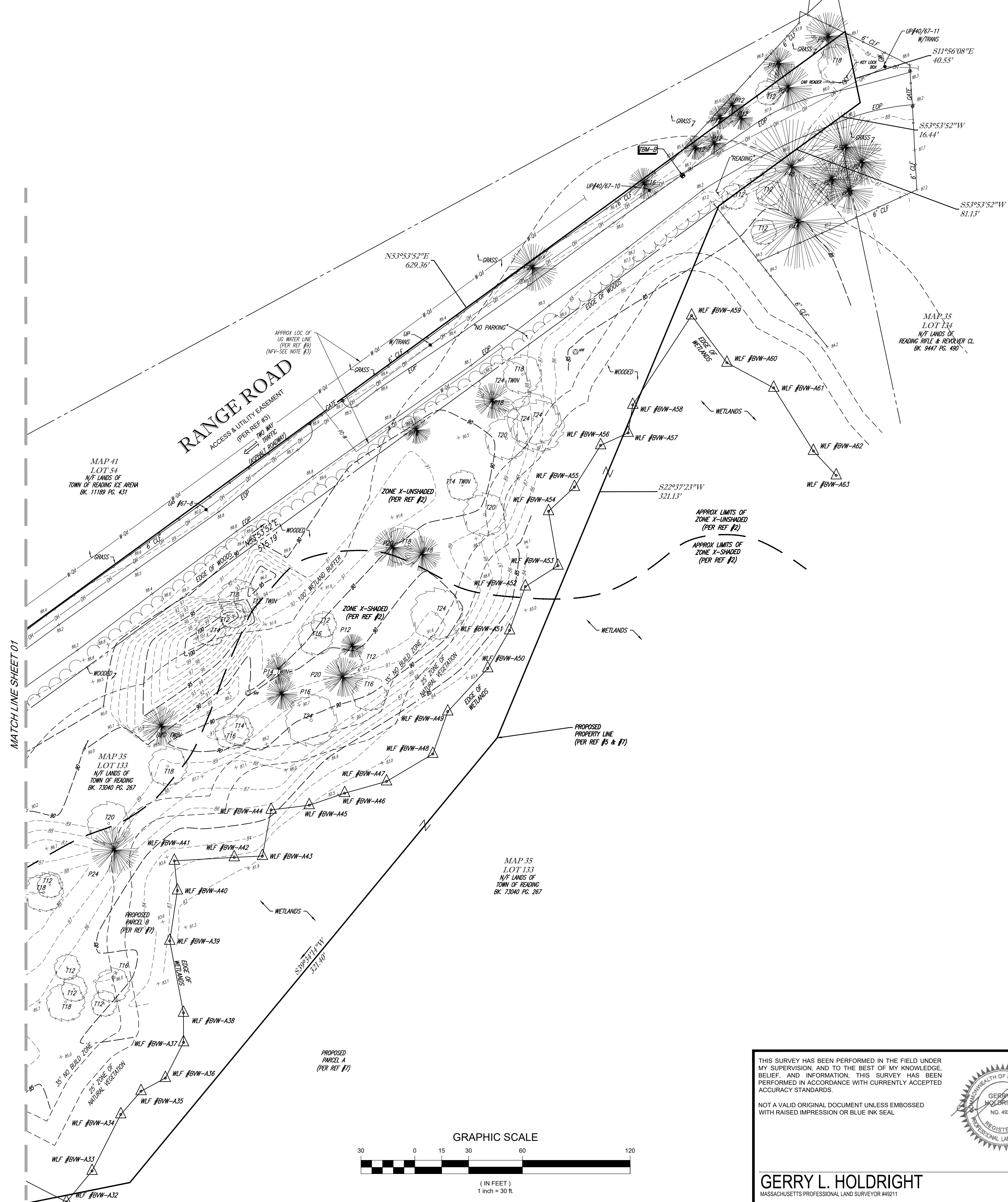
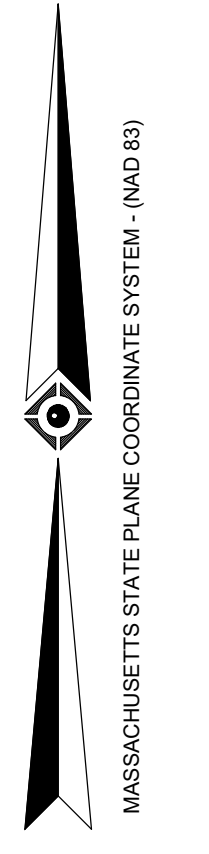


GERRY L. HOLDRIGHT
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR 42211

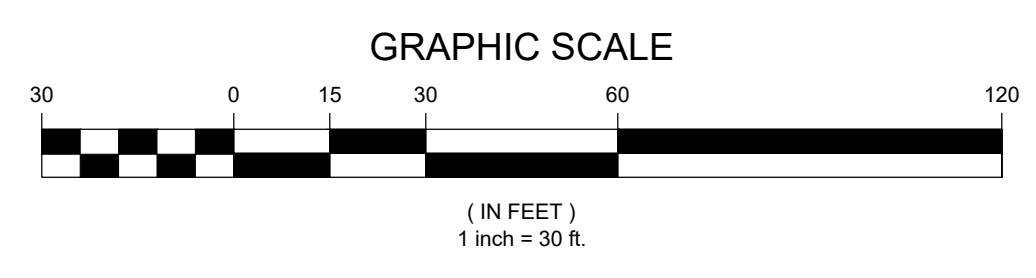
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|--|--|------------|----------|--------------|-----------|
| 2 | REVISED TO SHOW ADDITIONAL BUFFERS PER TOWN COMMENTS | - | R.J.K. | G.L.H. | 8-12-2025 |
| 1 | REVISED PER NEW TOPOGRAPHY | - | C.W. | L.M.M. | 7-7-2025 |
| NO. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |
| FIELD DATE: 01-21-2025 06-18-2025 FIELD BOOK NO: 24-12 MA FIELD BOOK PG: 46 FIELD CREW: J.S.A./B.S.B./C.W. DRAWN: L.M.M. DATE: 8-12-2025 | | | | | |
| BOUNDARY, PARTIAL TOPOGRAPHIC & UTILITY SURVEY BARGMANN HENDRIE & ARCHETYPE, INC 51 SYMONDS WAY MAP 35, LOT 133 TOWN OF READING, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS | | | | | |
| CONTROL POINT ASSOCIATES, INC. 35 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.945.3000 WWW.CPASURVEY.COM | | | | | |
| REVIEWED: | APPROVED: | DATE: | SCALE: | FILE NO.: | SHEET: |
| R.J.K. | G.L.H. | 02-18-2025 | 1" = 30' | 03-220120-01 | 1 OF 2 |

LEGEND

| | |
|-------------|--|
| --- | EXISTING CONTOUR |
| 123.45 | EXISTING SPOT ELEVATION |
| + TC 123.45 | EXIST. TOP OF CURB ELEVATION |
| + BC 123.95 | EXIST. BOTTOM OF CURB ELEVATION |
| OH | OVERHEAD WIRES |
| --- | APPROX. LOC. UNDERGROUND WATER LINE |
| --- | APPROX. LOC. UNDERGROUND SANITARY LINE |
| -0.0 | SUBSURFACE UTILITY QUALITY LEVEL D |
| ⊕ | HYDRANT |
| ⊙ | SANITARY/SEWER MANHOLE |
| ⊙ | DRAINAGE/STORM MANHOLE |
| ⊙ | MONITORING WELL |
| UP / | UTILITY POLE |
| UPSP / | UTILITY POLE/LIGHT POLE/SOLAR PANEL |
| GW | GUY WIRE |
| IV | INVERT ELEVATION |
| + | SIGN |
| o | GATE POST |
| T | DECIDUOUS TREE & TRUNK SIZE |
| P | CONIFEROUS TREE & TRUNK SIZE |
| CLF | CHAIN LINK FENCE |
| --- | EDGE OF PAVEMENT |
| --- | UNKNOWN TERMINUS |
| Δ | DELINEATION FLAG |
| VC | VERTICAL GRANITE CURB |



MATCH LINE SHEET 01



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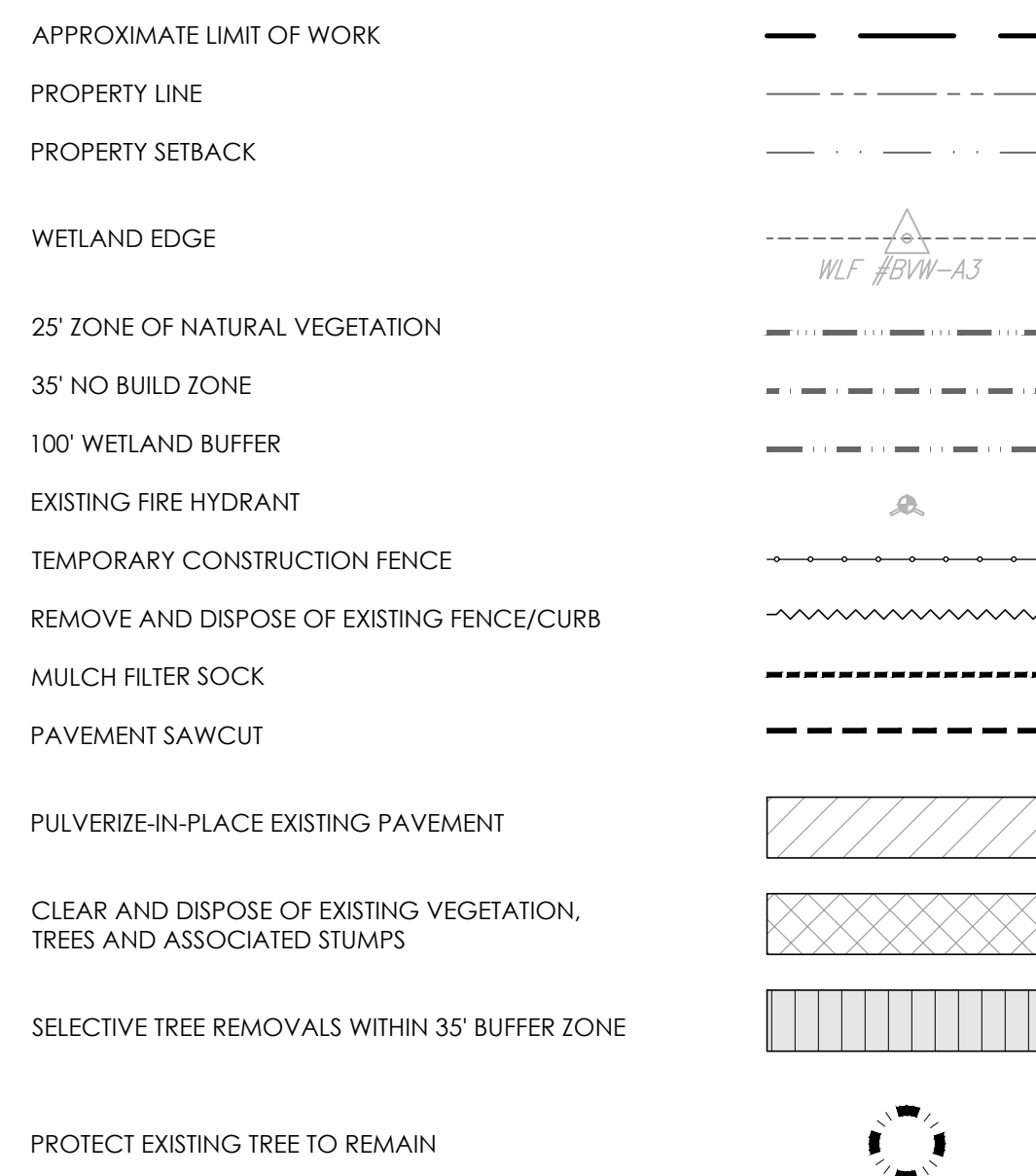
GERRY L. HOLDRIGHT
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



8-12-2025
DATE

| | | | | | |
|--|--|---|-------------------|----------------|--------------|
| 2 | REVISED TO SHOW ADDITIONAL BUFFERS PER TOWN COMMENTS | - | R.J.K. | G.L.H. | 8-12-2025 |
| 1 | REVISED PER NEW TOPOGRAPHY | C.W. | L.M.M. | G.L.H. | 7-7-2025 |
| NO. | DESCRIPTION OF REVISION | FIELD CREW | DRAWN | APPROVED | DATE |
| FIELD DATE | 01-21-2025 | FIELD BOOK NO. | 24-12 MA | FIELD BOOK PG. | 46 |
| BOUNDARY, PARTIAL TOPOGRAPHIC & UTILITY SURVEY | | | | | |
| BARGMANN HENDRIE & ARCHETYPE, INC | | | | | |
| 51 SYMONDS WAY | | | | | |
| MAP 35, LOT 133 | | | | | |
| TOWN OF READING, MIDDLESEX COUNTY | | | | | |
| COMMONWEALTH OF MASSACHUSETTS | | | | | |
| FIELD CREW | J.S.A./B.S.B./C.W. | CONTROL POINT ASSOCIATES, INC. <small>WARREN, NH 03063-0000 101 F. STREET, 2ND FLOOR, 2000 MANHATTAN, NY 10008-0001 LONG BEACH, NY 11560-0001 ALBANY, NY 12212-0001 100 BROAD STREET, 2ND FLOOR, 02109 FLEXBOROUGH, PA 19033-0001</small> | | | |
| DRAWN | L.M.M. | 508.945.3000 | WWW.CPASURVEY.COM | FILE NO. | 03-220120-01 |
| REVIEWED | R.J.K. | DATE | 02-18-2025 | SCALE | 1" = 30' |
| | | | | SHEET | 2 OF 2 |

SITE PREPARATION AND EROSION CONTROL LEGEND

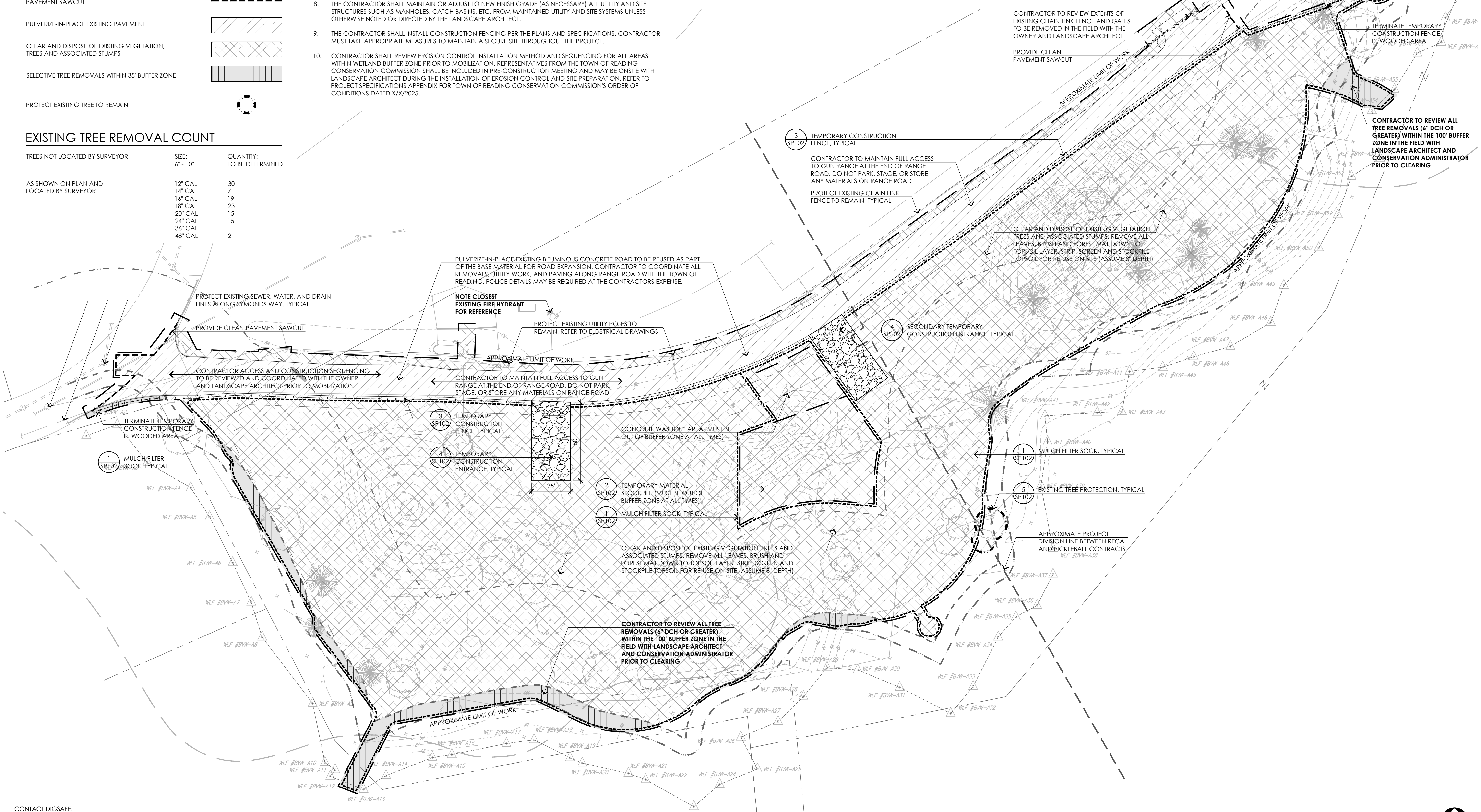


EXISTING TREE REMOVAL COUNT

| TREES NOT LOCATED BY SURVEYOR | SIZE: 6" - 10" | QUANTITY: TO BE DETERMINED |
|--|----------------|----------------------------|
| AS SHOWN ON PLAN AND LOCATED BY SURVEYOR | 12" CAL | 30 |
| | 14" CAL | 7 |
| | 16" CAL | 19 |
| | 18" CAL | 23 |
| | 20" CAL | 15 |
| | 24" CAL | 15 |
| | 36" CAL | 1 |
| | 48" CAL | 2 |

SITE PREPARATION AND EROSION CONTROL NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE BOUNDARY AND WETLAND LOCATION SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC., LOCATED AT 352 TURNPIKE ROAD, SOUTHBOROUGH, MA, AND DATED JUNE 4TH, 2025.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS, SPECIFICATIONS, AND ACTUAL CONDITIONS TO THE LANDSCAPE ARCHITECT/CIVIL ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO STARTING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR FOR DELIVERY TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENTS OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE (AS NECESSARY) ALL UTILITY AND SITE STRUCTURES SUCH AS MANHOLES, CATCH BASINS, ETC. FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING PER THE PLANS AND SPECIFICATIONS. CONTRACTOR MUST TAKE APPROPRIATE MEASURES TO MAINTAIN A SECURE SITE THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL REVIEW EROSION CONTROL INSTALLATION METHOD AND SEQUENCING FOR ALL AREAS WITHIN WETLAND BUFFER ZONE PRIOR TO MOBILIZATION. REPRESENTATIVES FROM THE TOWN OF READING CONSERVATION COMMISSION SHALL BE INCLUDED IN PRE-CONSTRUCTION MEETING AND MAY BE ON-SITE WITH LANDSCAPE ARCHITECT DURING THE INSTALLATION OF EROSION CONTROL AND SITE PREPARATION. REFER TO PROJECT SPECIFICATIONS APPENDIX FOR TOWN OF READING CONSERVATION COMMISSION'S ORDER OF CONDITIONS DATED X/X/2025.
- EXISTING DRAINAGE SYSTEM BASINS SHALL REMAIN OPERATIONAL AS LONG AS POSSIBLE. UPON REMOVAL OF EXISTING BASINS, CONTRACTOR SHALL PROVIDE TEMPORARY INFILTRATION AREAS TO INFILTRATE CONSTRUCTION RUNOFF. CONTRACTOR SHALL FOCUS ON GETTING PROPOSED DRAINAGE SYSTEMS OPERATIONAL AS SOON AS POSSIBLE. CONTRACTOR SHALL ENSURE ALL STORMWATER FLOWING TO NEW BASINS IS TREATED STORMWATER THAT WILL NOT NEGATIVELY AFFECT THE FINAL SYSTEMS.
- ALL EXISTING TREE PROTECTION AND PROPOSED TREE REMOVALS WITHIN THE 100' BUFFER ZONE SHALL BE REVIEWED IN THE FIELD WITH CONSERVATION ADMINISTRATOR AND LANDSCAPE ARCHITECT. ALL TREES OUTSIDE CONSERVATION'S JURISDICTION SHALL BE REVIEWED WITH THE TOWN'S TREE WARDEN.
- TRUCKS LEAVING THE SITE SHALL HAVE THEIR WHEELS WASHED PRIOR TO LEAVING THE CONSTRUCTION AREA. ANY TRACKING OUTSIDE THE PROJECT LIMIT OF WORK SHALL BE STREET SWEEP AS NECESSARY (MINIMUM SWEEP ROAD IMMEDIATELY OUTSIDE CONSTRUCTION ENTRANCE DAILY).
- ATTENTION IS CALLED TO RECORD DRAWINGS AND AS-BUILT DRAWING REQUIREMENTS IN THE SPECIFICATIONS. CONTRACTOR SHALL DOCUMENT ALL UTILITY STUBS AND ABANDONED UNDERGROUND UTILITIES FOUND IN THE FIELD IN THE AS-BUILT AND RECORD DRAWINGS.
- DUE TO PROJECT PROXIMITY TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL MITIGATE AND CONTROL DUST DURING EARTHWORK OPERATIONS AND THROUGHOUT THE PROJECT AS DEEMED NECESSARY BY THE TOWN AND LANDSCAPE ARCHITECT.
- EXCESS MATERIAL FROM EXISTING BITUMINOUS CONCRETE PAVEMENT PULVERIZATION SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.



CONTACT DIGSAFE: UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION



REVISIONS

| NO. | DATE | DESCRIPTION |
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DRAWING TITLE

Site Preparation and Erosion Control Plan

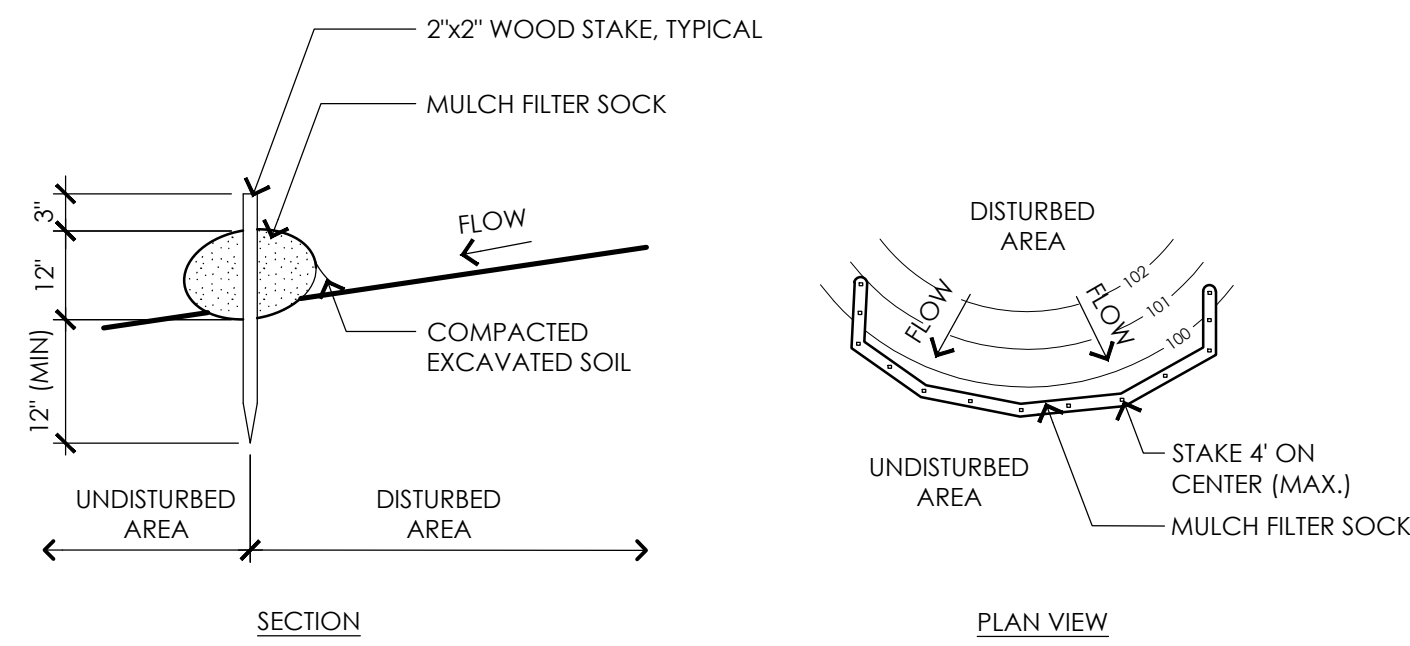
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8/21/25

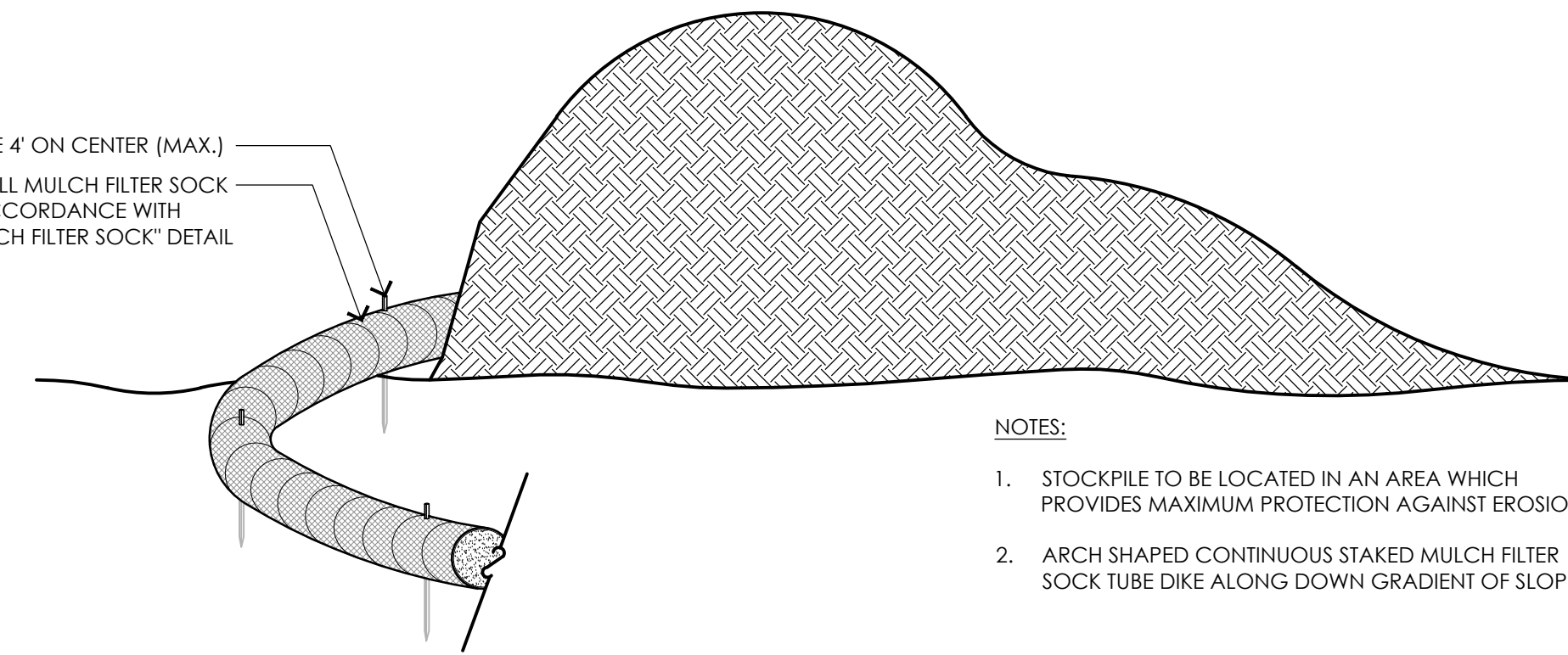
07/09/2025
DATE OF ISSUE
NOTICE OF INTENT
DESCRIPTION
1"=30'-0"
SCALE
AJA
DRAWN BY
3513
PROJECT #
FILE NAME

DRAWING NUMBER

SP101



- NOTES:**
1. PLACE MULCH FILTER SOCK ON LEVEL GRADE. EXTEND BOTH ENDS OF THE TUBE AT LEAST 8'-0" UPSLOPE AT 45 DEGREES TO THE MAIN ALIGNMENT.
 2. REMOVE DEPOSITS WHEN SEDIMENT ACCUMULATION IS ONE THIRD THE HEIGHT OF THE EXPOSED MULCH FILTER SOCK OR ONE HALF OF THE EXPOSED FILTER SOCK.
 3. MULCH FILTER SOCK SHALL REMAIN IN WORKING ORDER UNTIL THE SITE IS STABILIZED. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS NEEDED TO PREVENT SILT FROM LEAVING THE SITE AT NO ADDITIONAL COST TO THE OWNER.
 4. ALL CONTROLS SHALL BE SET 5' FROM BOTTOM TOE OF SLOPE



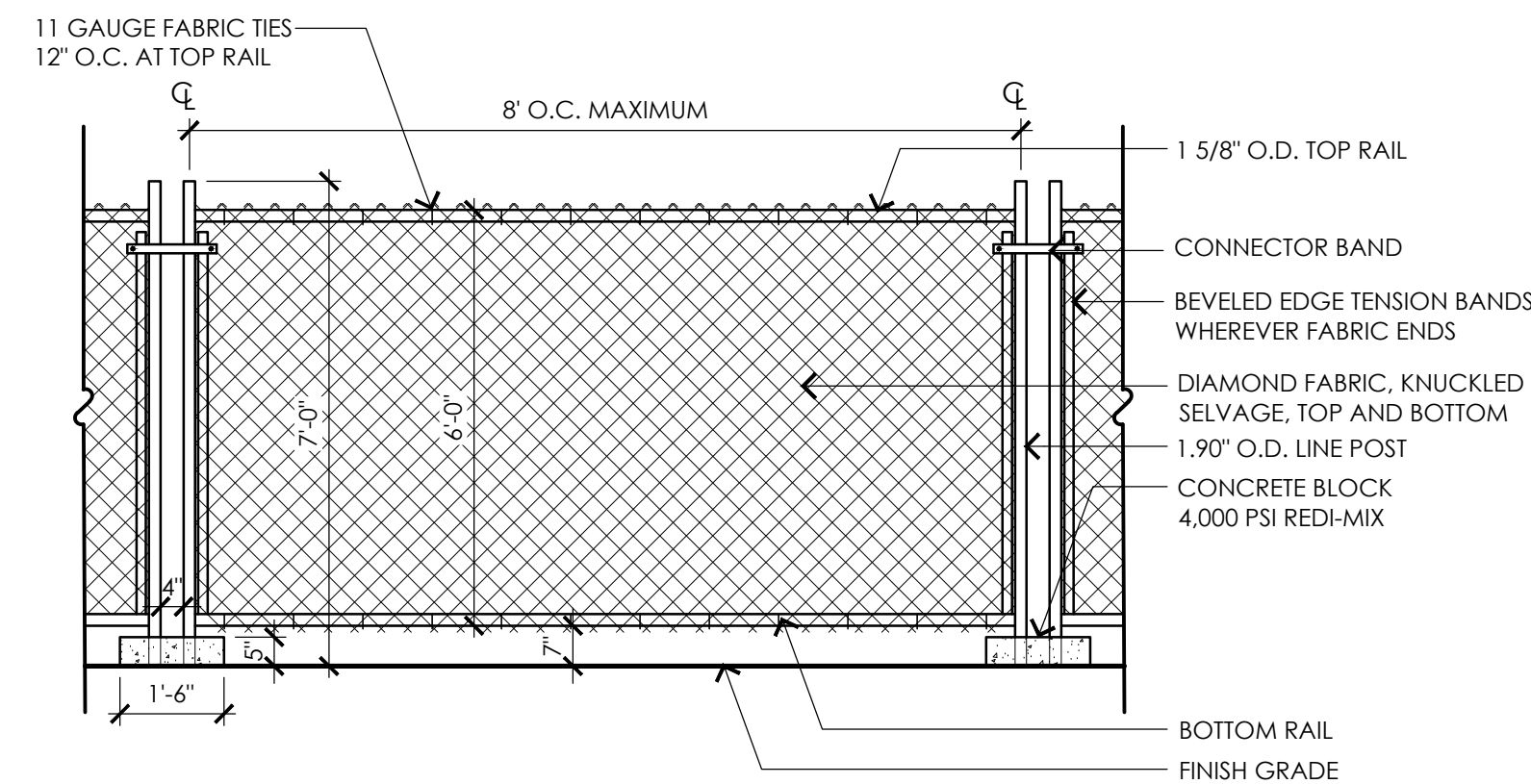
- NOTES:**
1. STOCKPILE TO BE LOCATED IN AN AREA WHICH PROVIDES MAXIMUM PROTECTION AGAINST EROSION.
 2. ARCH SHAPED CONTINUOUS STAKED MULCH FILTER SOCK TUBE DIKE ALONG DOWN GRADIENT OF SLOPE.

1 MULCH FILTER SOCK

NOT TO SCALE

NOTES:

1. TEMPORARY CONSTRUCTION FENCE SHALL BE PROVIDED AT PROJECT LIMITS AS SHOWN ON THE SITE PREPARATION PLAN AND AS SPECIFIED. CONTRACTOR PROPOSED MODIFICATIONS TO TEMPORARY CONSTRUCTION FENCE, SUCH AS BUT NOT LIMITED TO THE USE OF SNOW FENCE (OR SIMILAR) WILL NOT BE CONSIDERED, UNLESS OTHERWISE NOTED.
2. POST SPACING SHALL BE EQUIDISTANT.
3. CONTRACTOR SHALL MAINTAIN A SECURE SITE AT ALL TIMES. CONTRACTOR SHALL PROVIDE ADDITIONAL TEMPORARY CONSTRUCTION FENCE AT NO ADDITIONAL COST TO THE OWNER IF NECESSARY TO PROPERLY SECURE THE SITE.

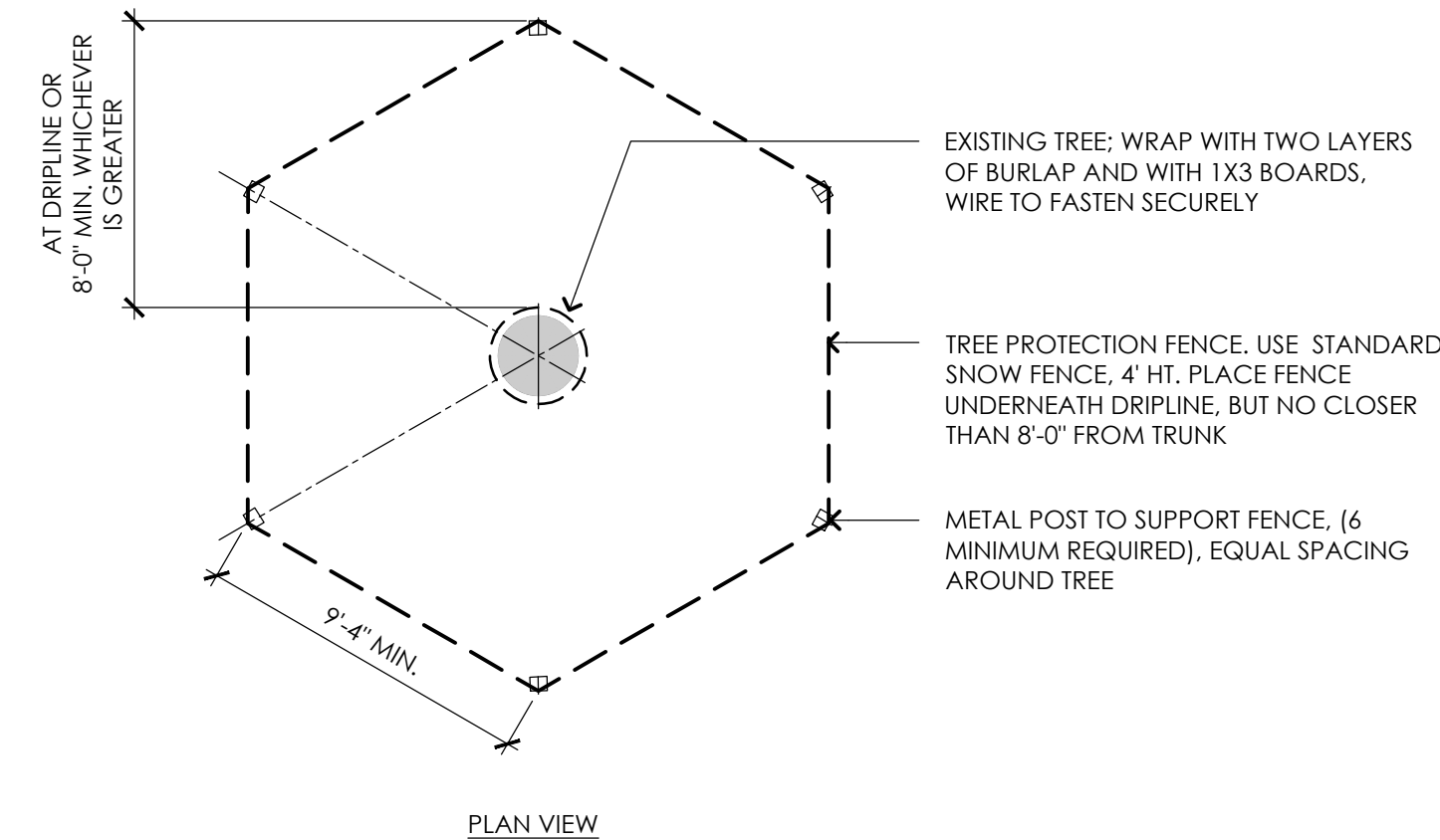


3 TEMPORARY CONSTRUCTION FENCE

NOT TO SCALE

NOTE:

1. ALL EXISTING TREE PROTECTION AND PROPOSED TREE REMOVALS WITHIN THE 100' BUFFER ZONE SHALL BE REVIEWED IN THE FIELD WITH CONSERVATION ADMINISTRATOR AND LANDSCAPE ARCHITECT PRIOR TO MOBILIZATION. ALL TREES OUTSIDE CONSERVATION'S JURISDICTION SHALL BE REVIEWED WITH THE TOWN'S TREE WARDEN.

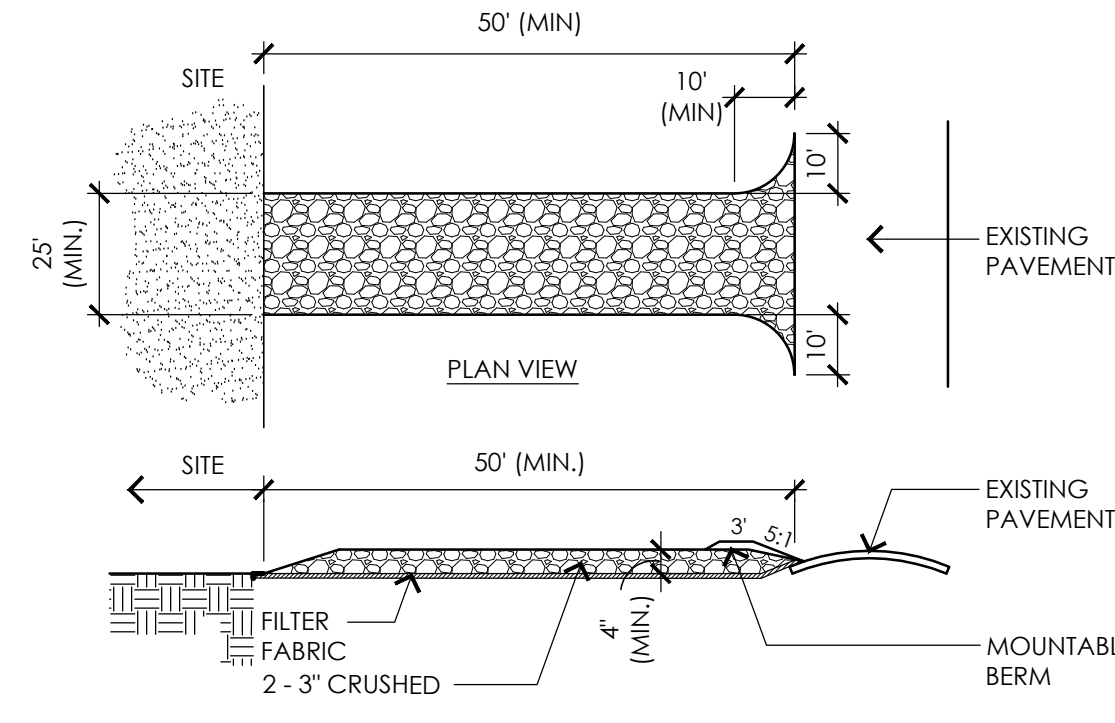


5 EXISTING TREE PROTECTION

NOT TO SCALE

NOTES:

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. CONTRACTOR SHALL REVIEW FINAL LOCATION AND SIZE ON TEMPORARY CONSTRUCTION ENTRANCE WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO MOBILIZATION.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO RIGHT-OF-WAY OR ADJACENT PARKING AREAS AND DRIVES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED AND/OR TRACKED ONTO PUBLIC RIGHTS-OF-WAYS OR ADJACENT PARKING AREAS AND DRIVES MUST BE REMOVED IMMEDIATELY. MOUNTABLE BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED.
3. CONTRACTOR SHALL WASH WHEELS OF VEHICLES AT CONSTRUCTION ENTRANCE PRIOR TO VEHICLES EXITING SITE TO PREVENT SOIL MATERIAL FROM BEING TRACKED FROM THE SITE.
4. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED.

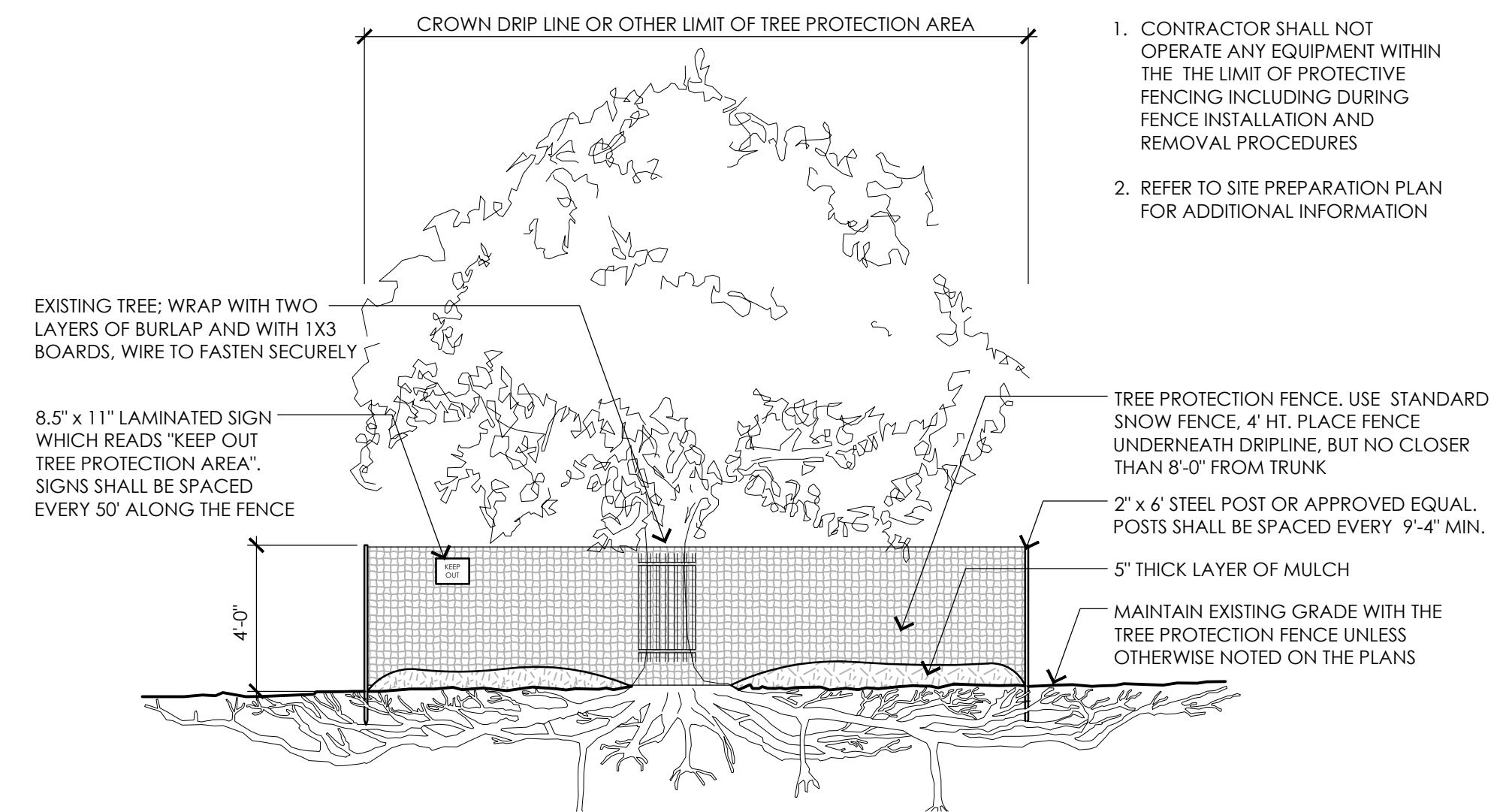


4 TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

NOTES:

1. CONTRACTOR SHALL NOT OPERATE ANY EQUIPMENT WITHIN THE LIMIT OF PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL PROCEDURES
2. REFER TO SITE PREPARATION PLAN FOR ADDITIONAL INFORMATION



PROJECT TEAM

Civil and Landscape Engineer
Activitas
70 Milton Street
Dedham, MA 02026
(781) 326-2600

Structural Engineer
Foley Buhl Roberts & Associates, Inc.
2227 Washington Street
Newton, MA 02462
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MEPPP Engineer
Allied Consulting Engineering
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(978) 443-7888

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Wetland Scientist
Epsilon Associates, Inc.
3 Mill and Main Place, Suite 250
Maynard, MA 01754
(978) 897-7100

REVISIONS

PLANNING + CONSERVATION COMMENTS - 8/13/25

| NO. | DATE | DESCRIPTION |
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DRAWING TITLE

**Site Preparation
and Erosion Control
Detail Sheet**

DRAWING INFORMATION



07/09/2025

DATE OF ISSUE

NOTICE OF INTENT

DESCRIPTION

AS NOTED

SCALE

PROJECT #

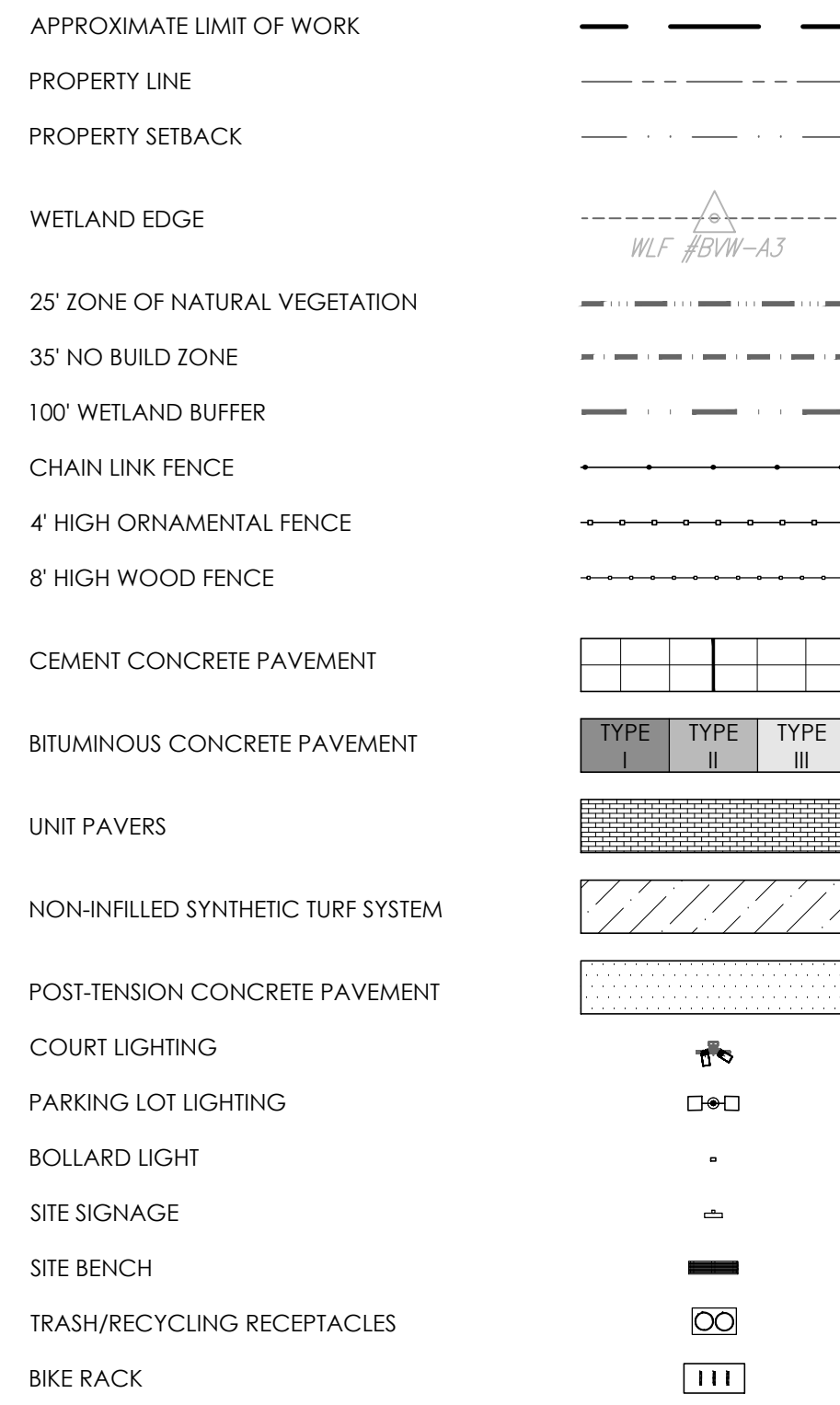
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DRAWING NUMBER

SP102

LAYOUT AND MATERIALS LEGEND



PARKING COUNT

| | | |
|---------------------|-----------|----------------------------------|
| ACCESSIBLE VAN | 2 | * DROP-OFF STAGING 5 VEHICLES |
| ACCESSIBLE STANDARD | 4 | |
| ELECTRIC VEHICLE | 2 | |
| STANDARD | 81 | |
| TOTAL SPACES | 89 | |

LAYOUT AND MATERIALS NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE BOUNDARY AND WETLAND LOCATION SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC., LOCATED AT 352 TURNPIKE ROAD, SOUTHBOROUGH, MA, AND DATED JUNE 4TH, 2025.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- WHILE THE CONTRACTOR MAY USE THE ELECTRONIC DRAWINGS FOR LAYOUT PURPOSES, IT IS HIS RESPONSIBILITY TO CHECK ALL LAYOUT IN THE FIELD TO CONFIRM CONFORMITY WITH THE PROJECT DRAWINGS, SPECIFICATIONS, AND APPROVED SHOP DRAWINGS AND SUBMITTALS. USE OF ONLY THE ELECTRONIC DRAWINGS WITHOUT A SITE CHECK OF LAYOUT IS NOT ACCEPTABLE.
- REFER TO DETAIL SHEET L501 FOR DIFFERENCES IN BITUMINOUS CONCRETE PAVEMENT TYPES III.

POST-TENSION CONCRETE NOTES (PICKLEBALL COURTS)

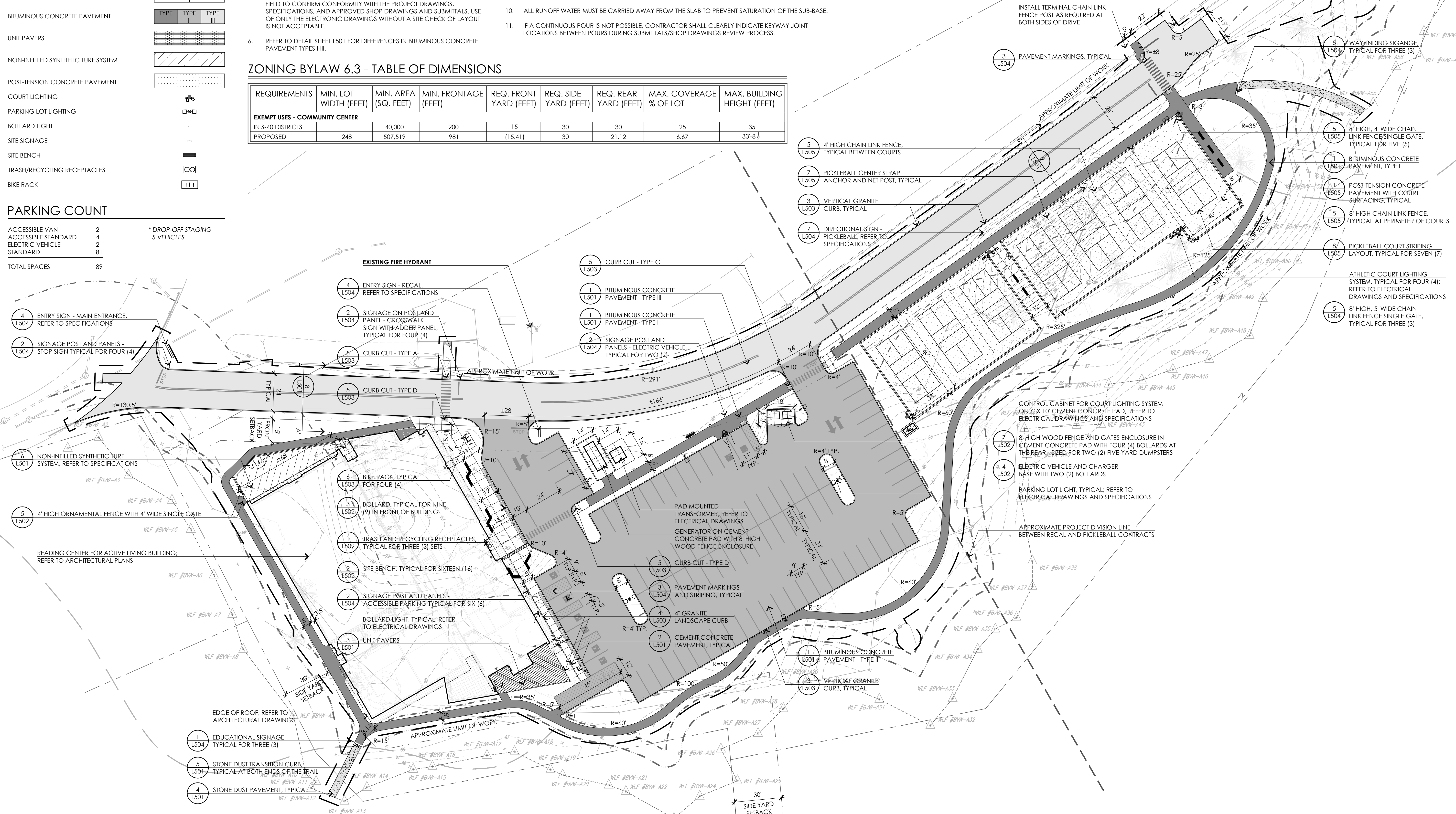
- COORDINATE INITIAL STRESSING WITHIN 24 HOURS WITH CONCRETE STRENGTH.
- ALL CONVENTIONAL REINFORCING STEEL SHALL MEET ASTM-A615 (GRADE 60). REINFORCING STEEL SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
- REINFORCEMENT SHALL HAVE 3" COVER IN THE GRADE BEAM BOTTOMS, 2" COVER IN THE BEAM SIDES AND TOP, 1-1/2" COVER IN THE SLAB TOP AND BOTTOMS, UNLESS NOTED OTHERWISE.
- TENDONS AND BARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACING. NO TENDON WILL BE UNSUPPORTED FOR MORE THAN 5 FEET.
- CONCRETE SHALL BE WELL CONSOLIDATED ESPECIALLY IN THE VICINITY OF THE TENDON ANCHORS.
- CONTRACTOR TO REMOVE ALL FORM WORK WITHOUT DAMAGE TO THE TENDONS PRIOR TO STRESSING OF TENDONS.
- LOADING OF THE SLAB PRIOR TO TENSIONING SHALL NOT BE DONE WITHOUT THE APPROVAL AND DIRECTION OF THE DESIGN ENGINEER.
- ALL SUBGRADE FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTER DENSITY IN A MAXIMUM OF 6' LIFTS.
- A MINIMUM OF 4-1/2" OF CONCRETE WILL BE MAINTAINED THROUGHOUT THE ENTIRE SLAB.
- ALL RUNOFF WATER MUST BE CARRIED AWAY FROM THE SLAB TO PREVENT SATURATION OF THE SUB-BASE.
- IF A CONTINUOUS POUR IS NOT POSSIBLE, CONTRACTOR SHALL CLEARLY INDICATE KEWAY JOINT LOCATIONS BETWEEN POURS DURING SUBMITTALS/SHOP DRAWINGS REVIEW PROCESS.

SIGNAGE SCHEDULE

| SIGN DESCRIPTION | DIMENSIONS (H x W) | QTY. |
|----------------------------|--------------------|------|
| ACCESSIBLE PARKING | 18" x 12" | 6 |
| VAN ACCESSIBLE ADDER | 6" x 12" | 2 |
| ELECTRIC VEHICLE PARKING | 18" x 24" | 2 |
| DO NOT ENTER - GUN RANGE | 18" x 24" | 1 |
| PEDESTRIAN CROSSING | 24" x 24" | 4 |
| DIRECTIONAL ARROW ADDER | 12" x 24" | 4 |
| STOP SIGN | 24" x 24" | 4 |
| ENTRY SIGN - MAIN ENTRANCE | 36" x 94" | 1 |
| ENTRY SIGN - RECAL | 36" x 60" | 1 |
| DIRECTIONAL SIGN | 36" x 24" | 1 |
| WAYFINDING SIGN | 42" x 10" | 3 |
| EDUCATIONAL SIGN | 12" x 9" | 3 |
| COURT RULES | 15" x 20" | 2 |

ZONING BYLAW 6.3 - TABLE OF DIMENSIONS

| REQUIREMENTS | MIN. LOT WIDTH (FEET) | MIN. AREA (SQ. FEET) | MIN. FRONTAGE (FEET) | REQ. FRONT YARD (FEET) | REQ. SIDE YARD (FEET) | REQ. REAR YARD (FEET) | MAX. COVERAGE % OF LOT | MAX. BUILDING HEIGHT (FEET) |
|---------------------------------------|-----------------------|----------------------|----------------------|------------------------|-----------------------|-----------------------|------------------------|-----------------------------|
| EXEMPT USES - COMMUNITY CENTER | | | | | | | | |
| IN S-40 DISTRICTS | 248 | 40,000 | 200 | 15 (15.41) | 30 | 30 | 25 | 35 |
| PROPOSED | | 507,519 | 981 | | 30 | 21.12 | 6.67 | 33'-8 1/2" |



CONTACT DIGSAFE: UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION



ARCHITECT

bh+a

Bargmann Hendrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
(617) 350 0450

PROJECT NAME

Reading Center for Active Living (ReCAL)

Outdoor Community Pickleball Courts

Symonds Way
Reading, MA 01867

CLIENT

Town of Reading

16 Lowell Street
Reading, MA 01867

PROJECT TEAM

Civil and Landscape Engineer

Activitas
70 Milton Street
Dedham, MA 02026
(781) 326-2600

Structural Engineer

Foley Buhl Roberts & Associates, Inc.
2227 Washington Street
Newton, MA 02462
(617) 527-9600

MEPFP Engineer

Allied Consulting Engineering
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(978) 443-7888

AV / IT / Security

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(781) 826-5522

Wetland Scientist

Epsilon Associates, Inc.
3 Mill and Main Place, Suite 250
Maynard, MA 01754
(978) 897-7100

REVISIONS

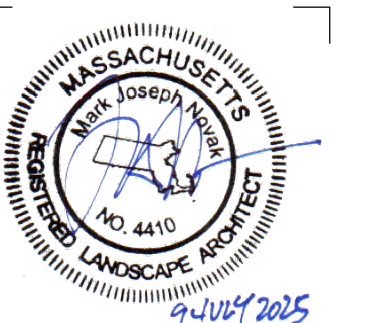
PLANNING + CONSERVATION COMMENTS - 8/13/25

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DRAWING TITLE

Layout and Materials Plan

DRAWING INFORMATION



07/09/2025

DATE OF ISSUE

NOTICE OF INTENT

DESCRIPTION

1"=30'-0"

SCALE

3513

PROJECT #

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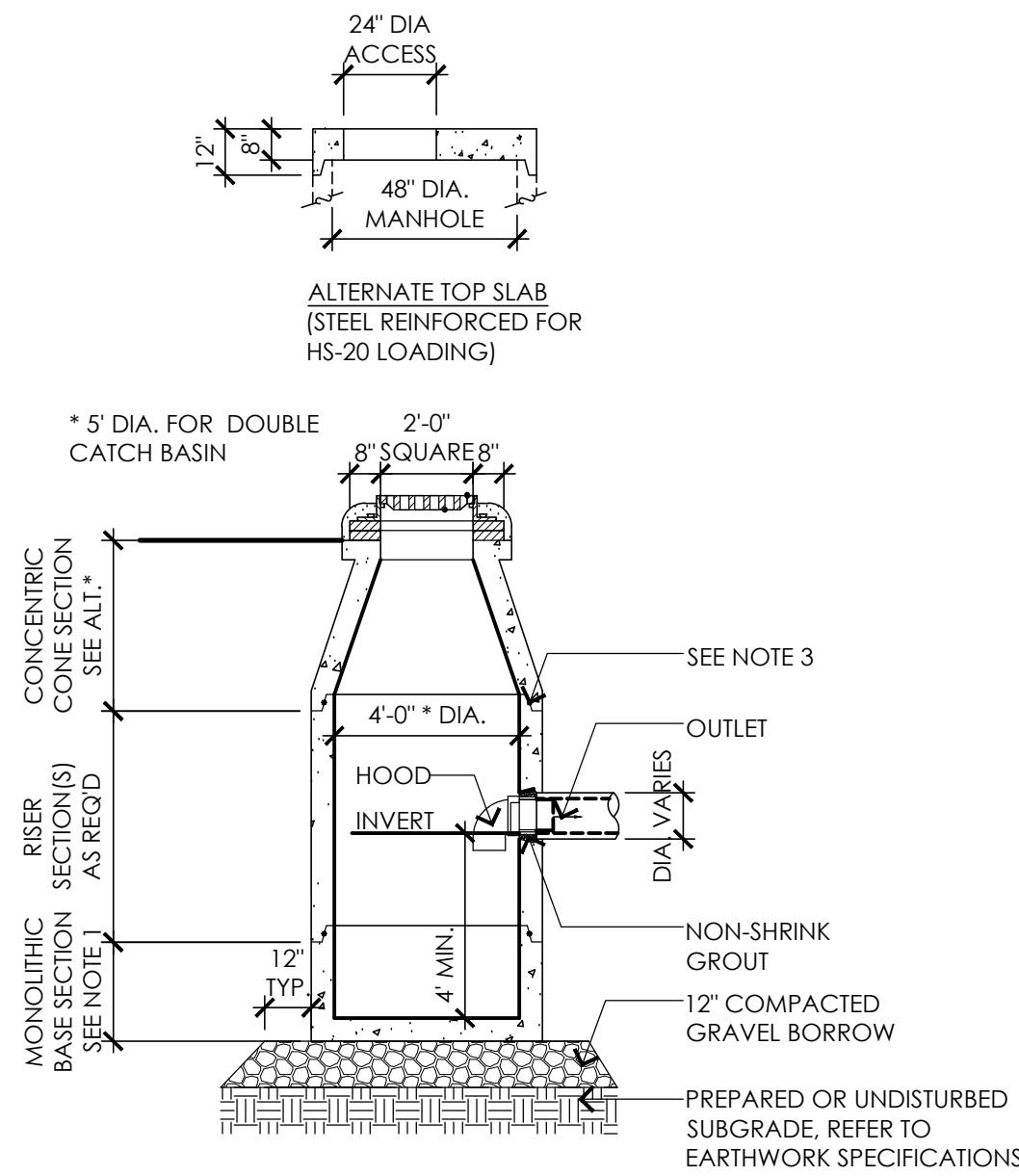
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DRAWING NUMBER

L101

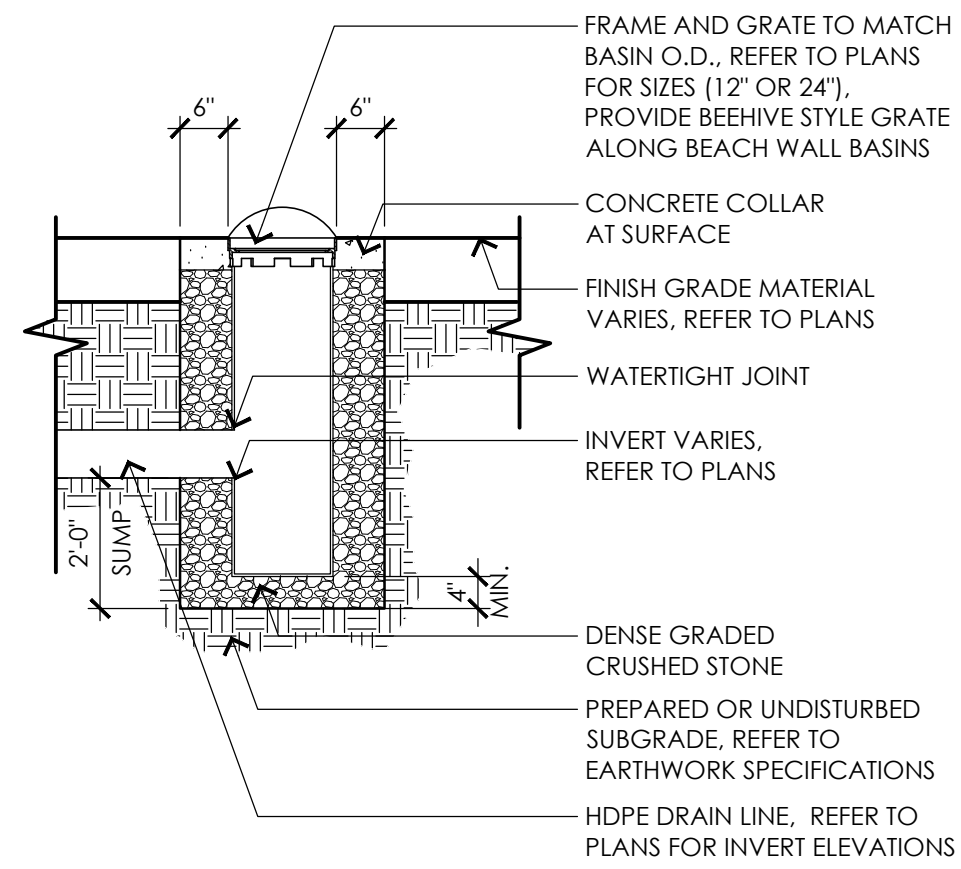
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- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - CATCH BASIN FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES MIN., 5 BRICK COURSES MAX.)



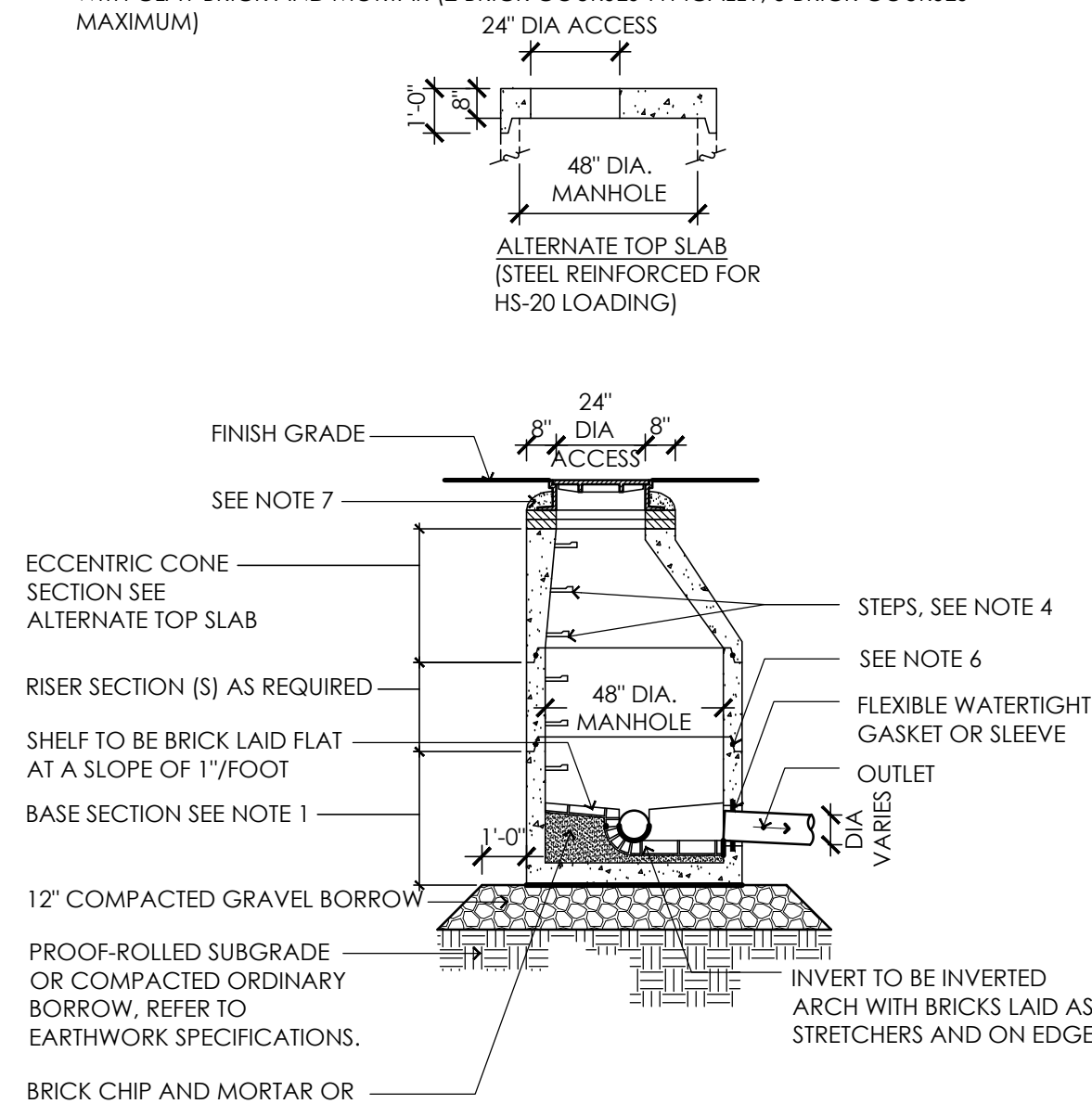
1 CATCH BASIN
NOT TO SCALE

- NOTES:
- GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE.



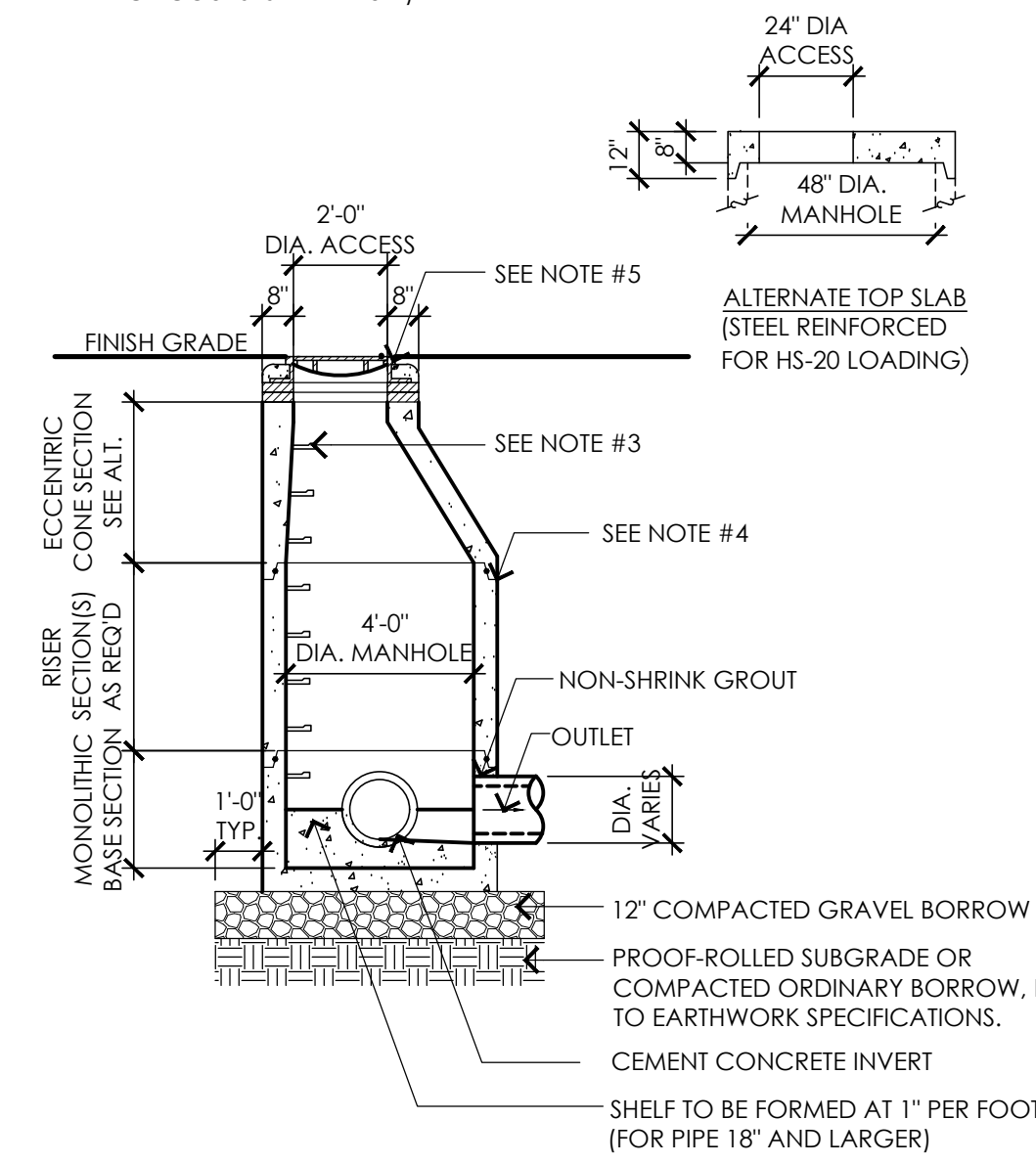
2 AREA DRAIN
NOT TO SCALE

- NOTES:
- BASE SECTION SHALL BE MONOLITHIC WITH A 48" INSIDE DIAMETER.
 - ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI TYPE I | CEMENT.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - STANDARD SEWER MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)



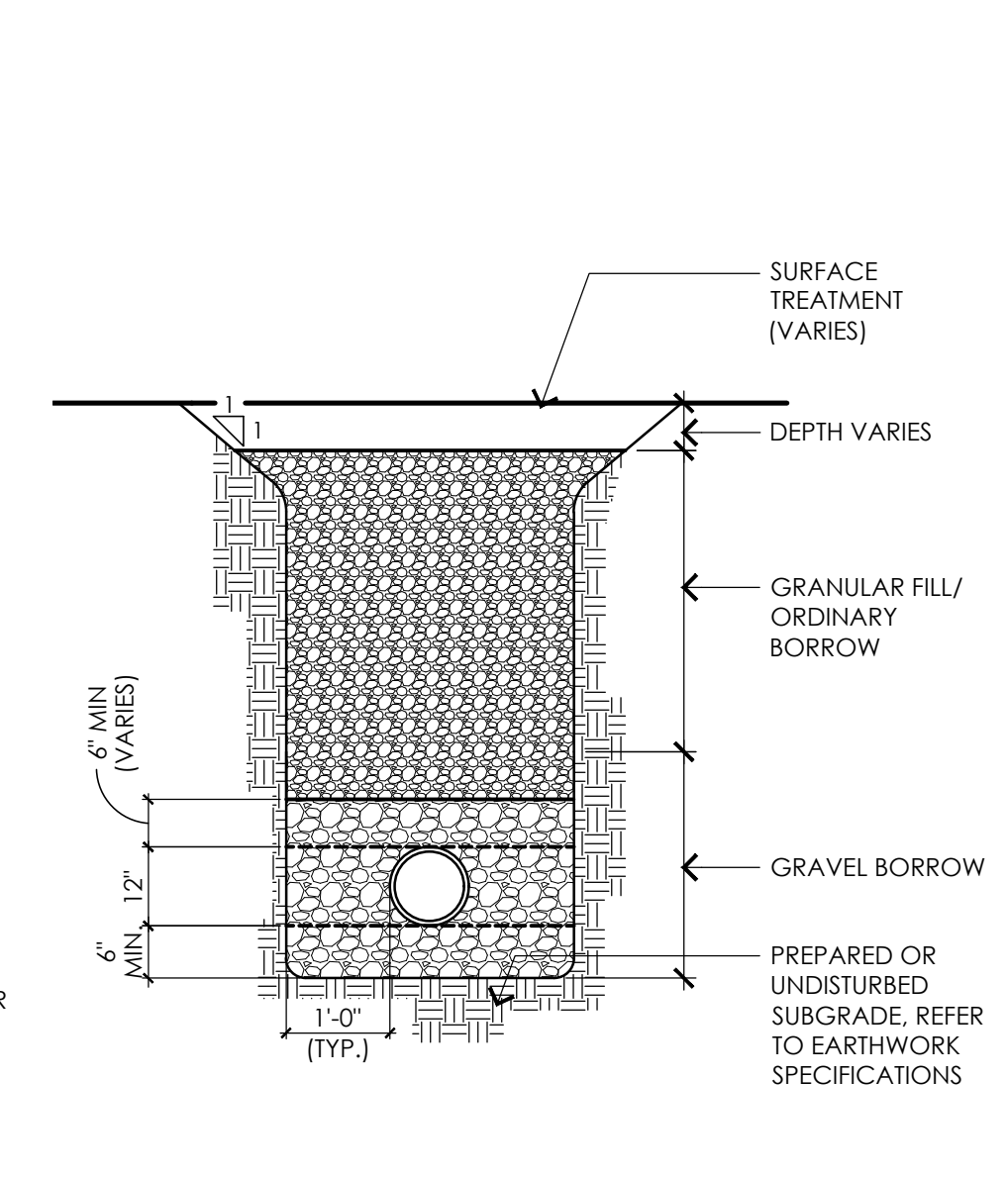
3 SEWER MANHOLE
NOT TO SCALE

- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - DRAIN MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES MINIMUM 5 BRICK COURSES MAXIMUM)



4 DRAIN MANHOLE
NOT TO SCALE

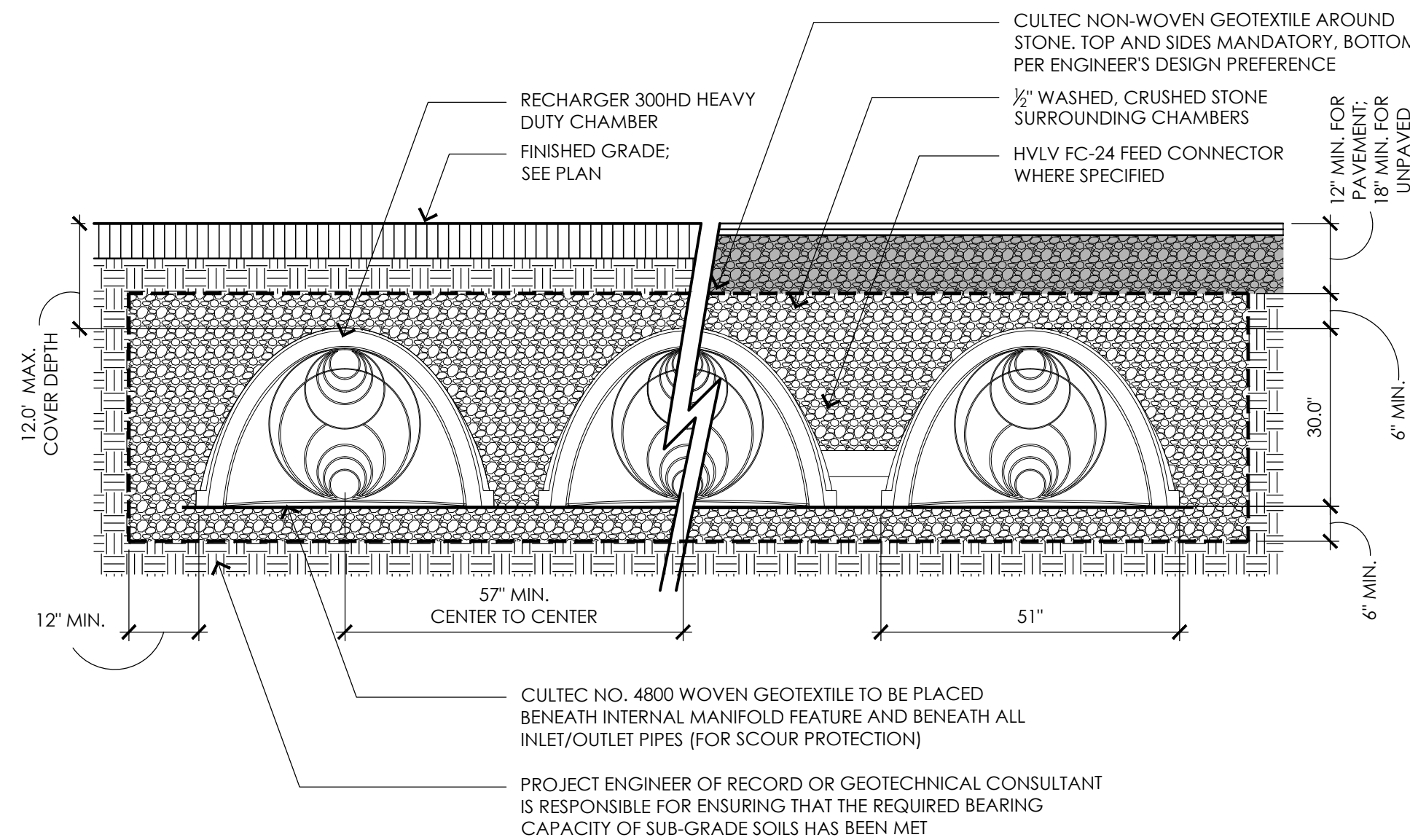
- NOTE:
- PROVIDE APPROPRIATE CAUTION TAPE AS REQUIRED PER CODE



5 UTILITY TRENCH
NOT TO SCALE

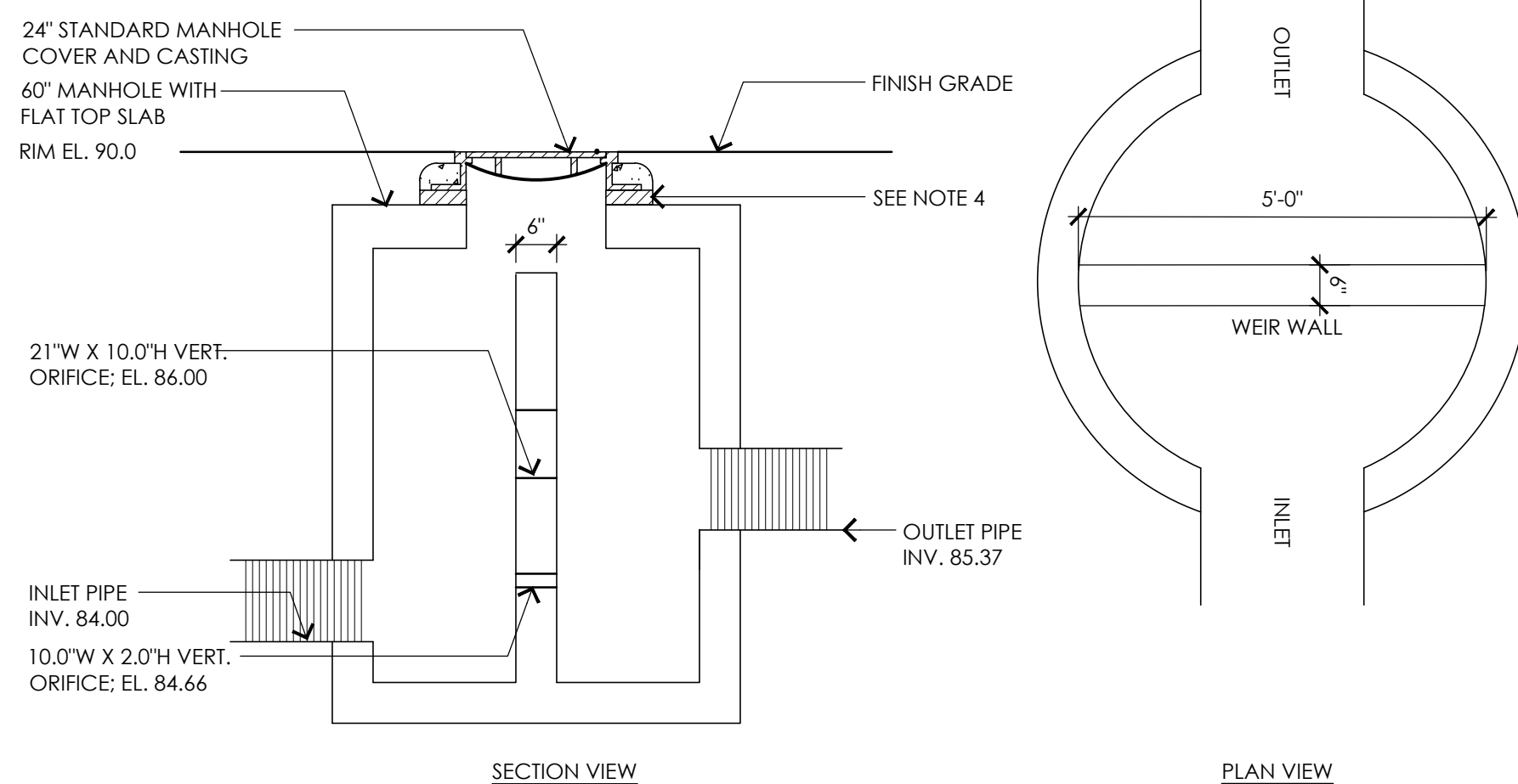
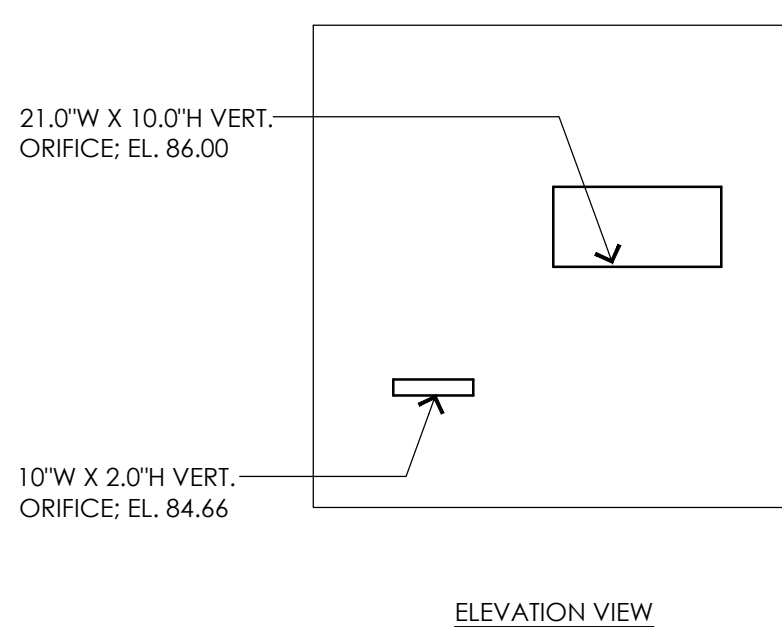
| SYSTEM CALCULATIONS | SYSTEM 1 | SYSTEM 2 |
|----------------------|------------------|-----------------|
| OVERALL FOOTPRINT | 82.25' X 145.27' | 20.50' X 53.18' |
| TOTAL STORAGE VOLUME | 23,614 CF | 2,064 CF |
| STONE VOID RATIO | 30% | 30% |
| ESTIMATED # OF UNITS | 340 | 28 |
| UNIT TYPE | R-300HD | R-300HD |

| SYSTEM ELEVATIONS | SYSTEM 1 | SYSTEM 2 |
|-------------------|-----------|-----------|
| GROUNDWATER | 81.50 | 81.50 |
| BOTTOM OF STONE | 83.50 | 84.50 |
| BOTTOM OF CULTecs | 84.00 | 85.00 |
| TOP OF CULTecs | 86.50 | 87.50 |
| TOP OF STONE | 87.00 | 88.00 |
| FINISHED GRADE | VARIABLES | VARIABLES |



6 SUBSURFACE STORMWATER CHAMBERS
NOT TO SCALE

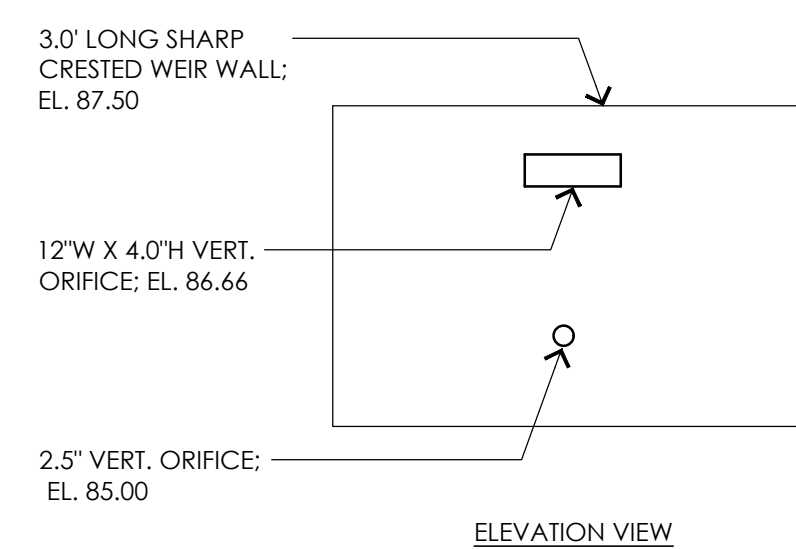
- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - ADJUST RIM WITH CLAY BRICK AND MORTAR TO SIT FLUSH WITH FINISH GRADE



9 OUTLET CONTROL STRUCTURE - 1
NOT TO SCALE

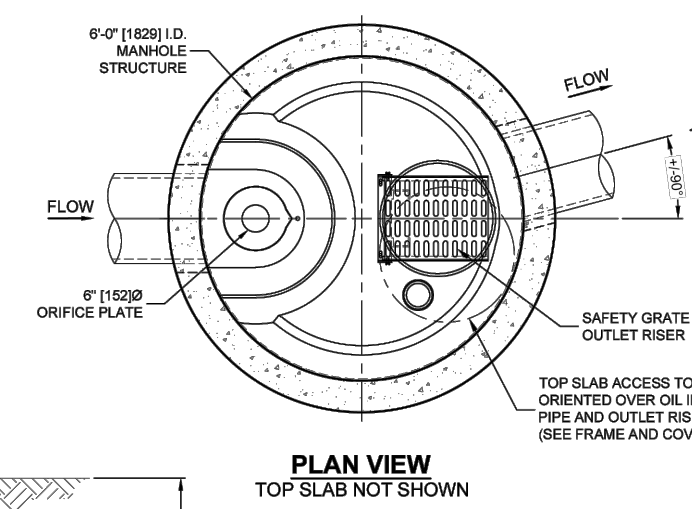
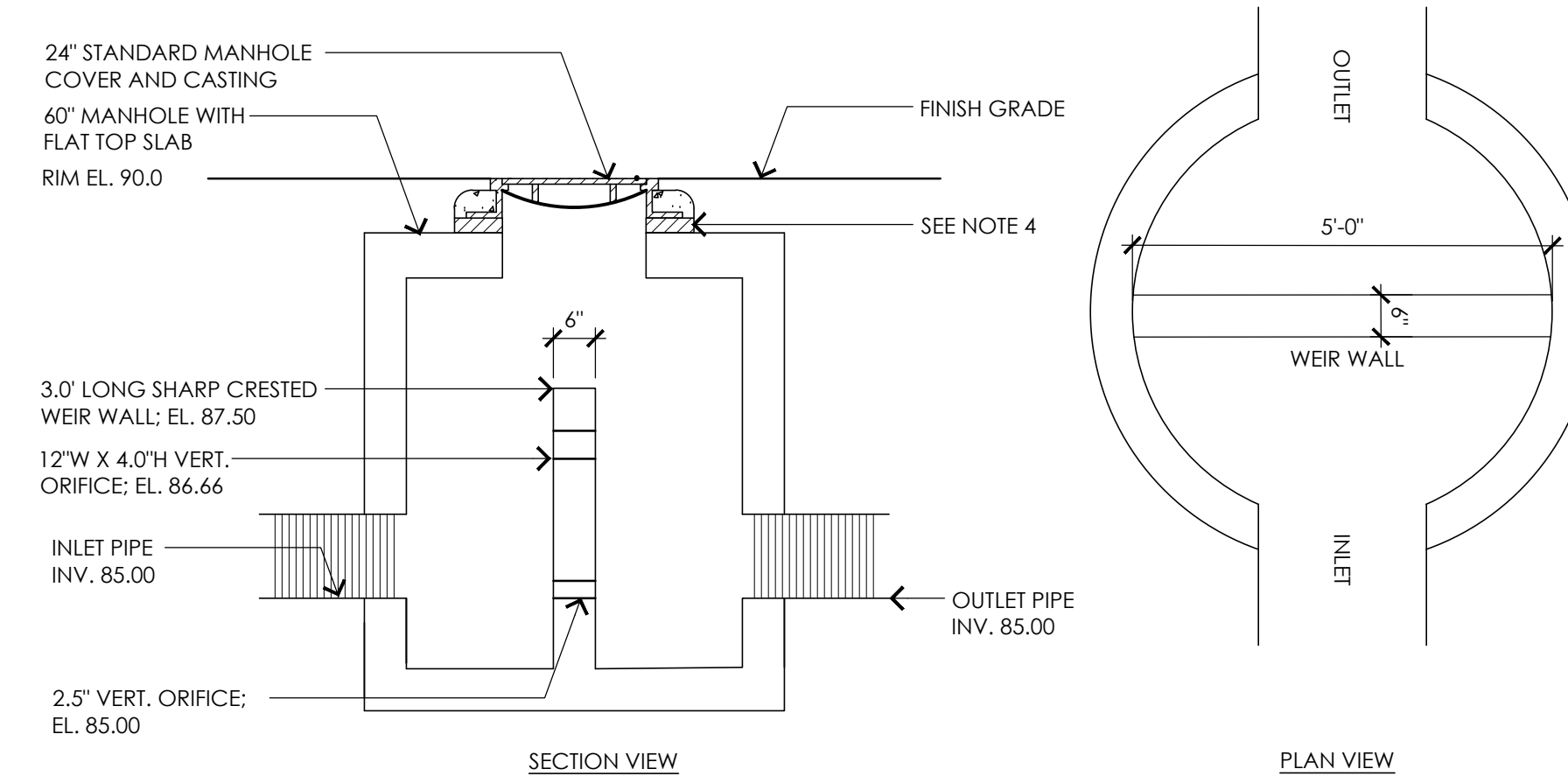
7 WATER QUALITY UNIT
NOT TO SCALE

- NOTES:
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
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 - ADJUST RIM WITH CLAY BRICK AND MORTAR TO SIT FLUSH WITH FINISH GRADE

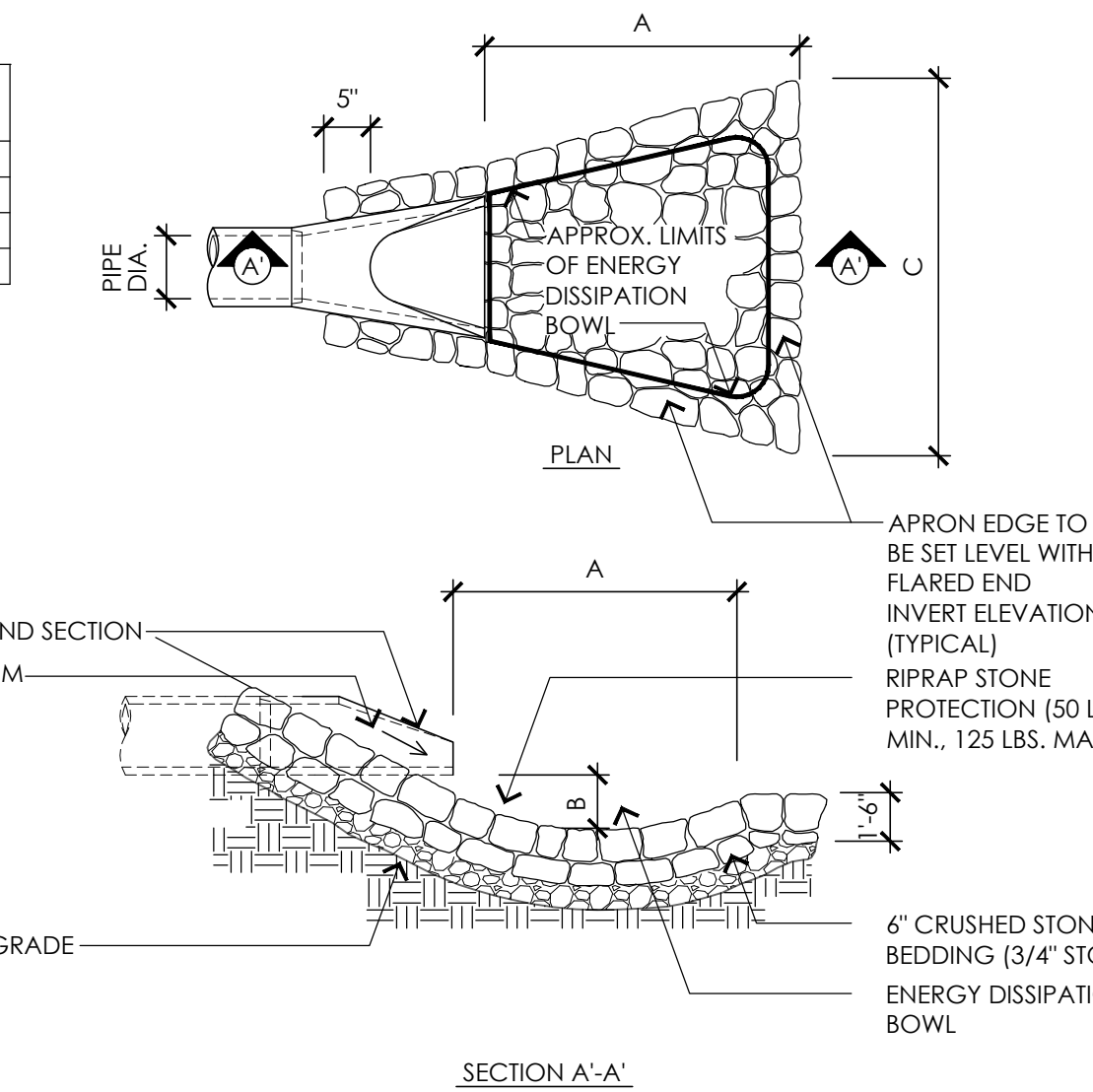


10 OUTLET CONTROL STRUCTURE - 2
NOT TO SCALE

8 FLARED END SECTION WITH RIP RAP
NOT TO SCALE

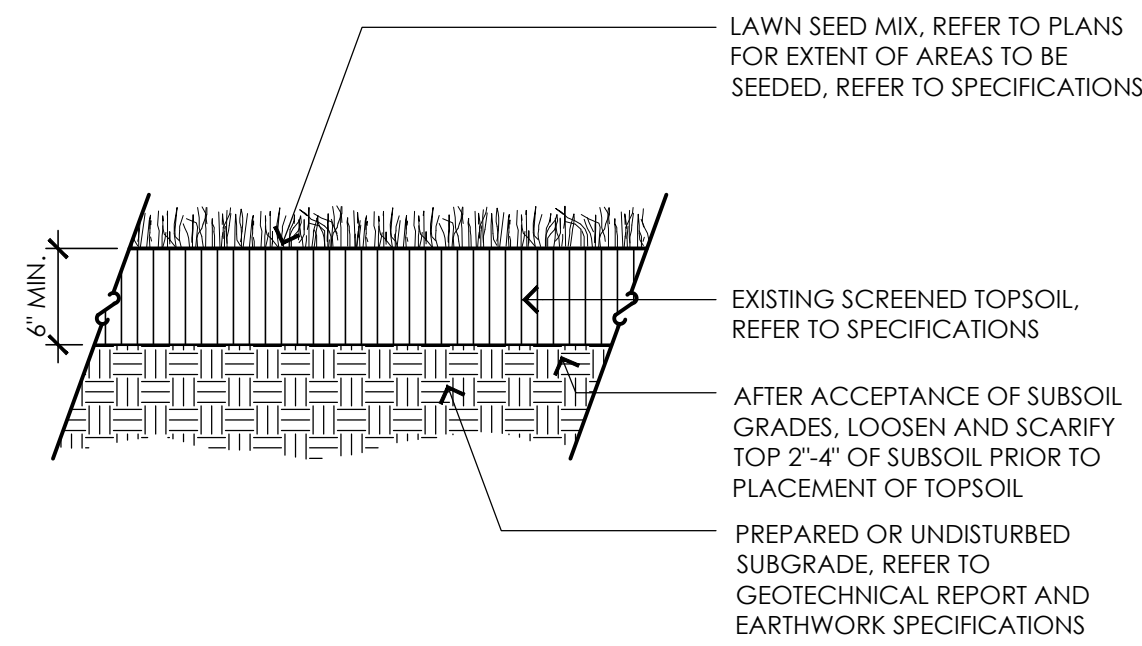


| PIPE DIA. | A | B | C |
|-----------|----|------|-----|
| 8" D | 3' | 1.5' | 5' |
| 12" D | 4' | 1.5' | 6' |
| 15" D | 5' | 1.5' | 7' |
| 24" D | 8' | 1.5' | 11' |

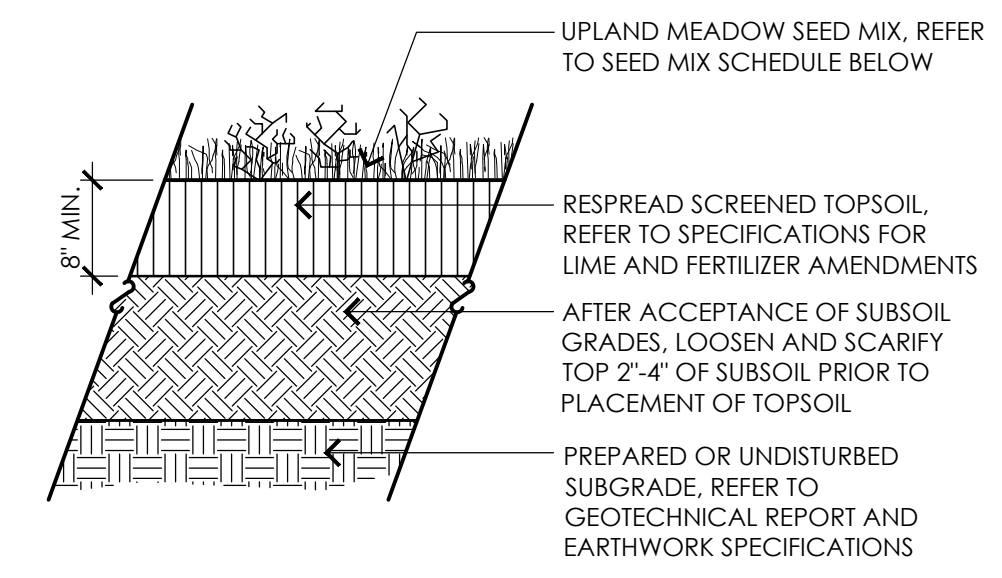


| PLANNING + CONSERVATION COMMENTS - 8/13/25 | DATE |
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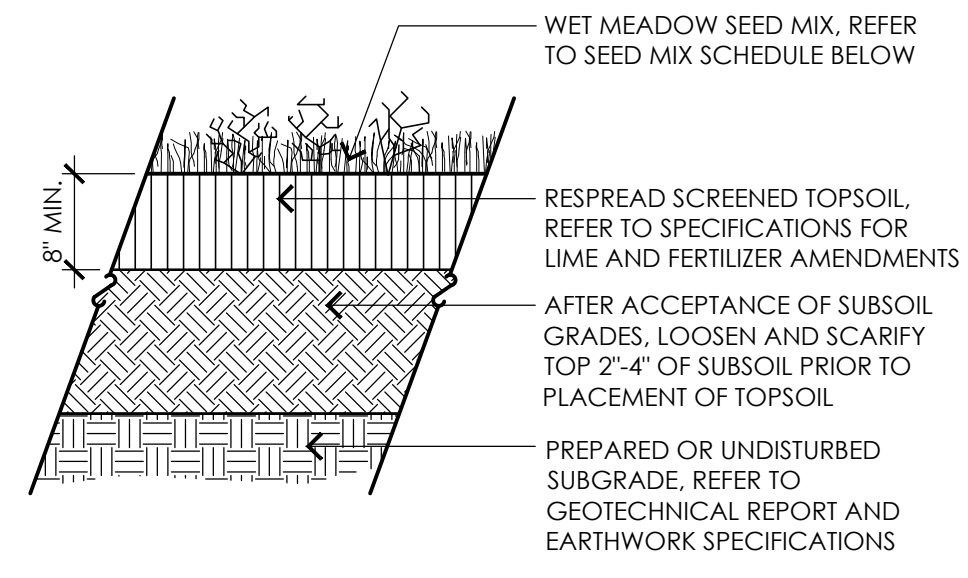




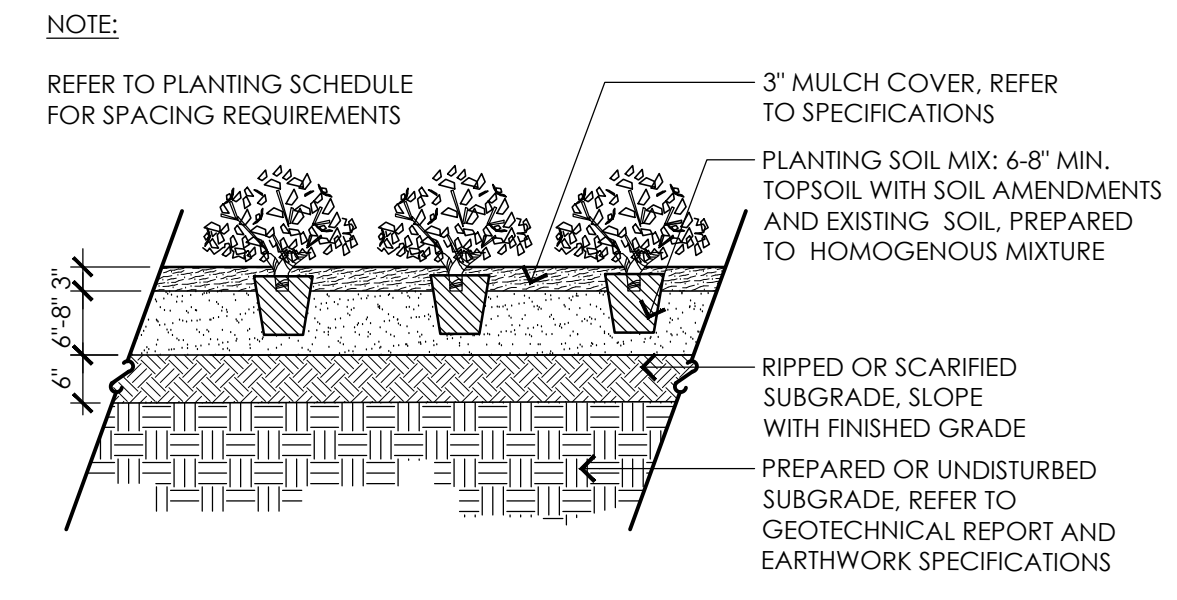
1 LOAM AND SEED
NOT TO SCALE



2 UPLAND SEED MIX
NOT TO SCALE



3 WET MEADOW SEED MIX
NOT TO SCALE

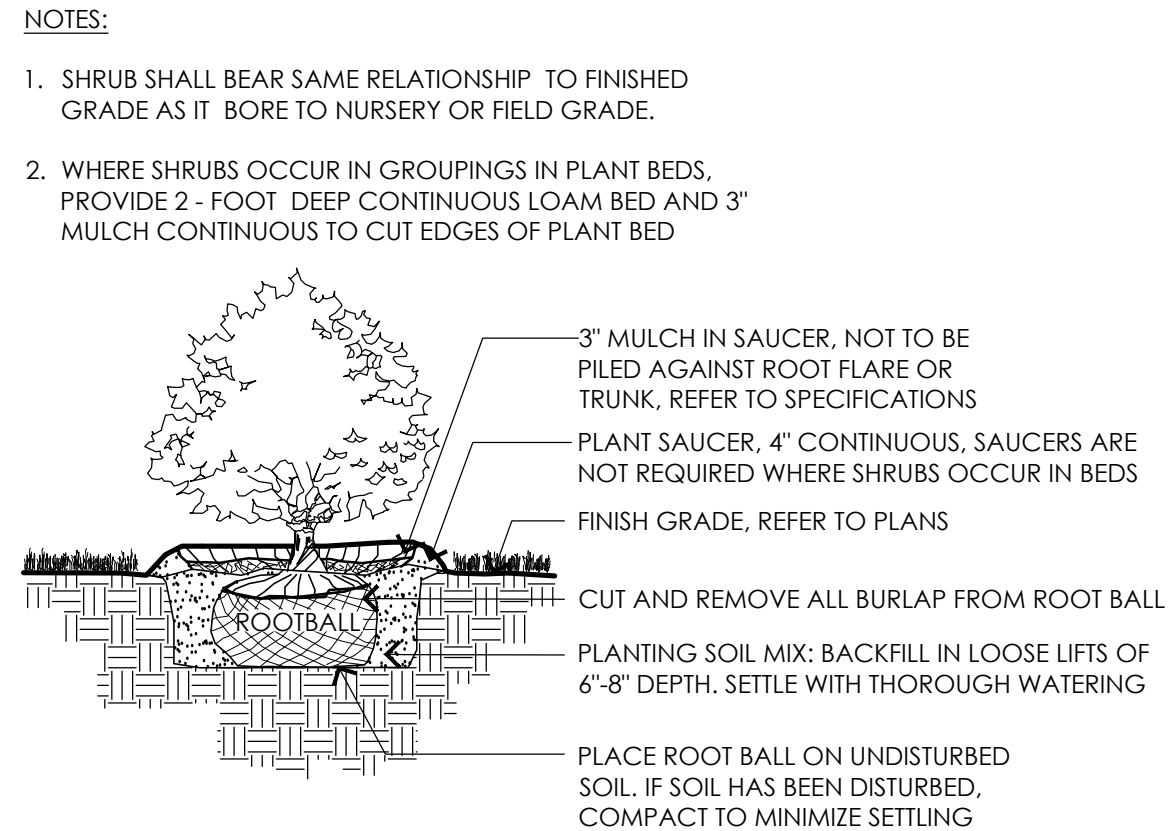


4 PERENNIALS, GROUNDCOVER, AND GRASSES
NOT TO SCALE

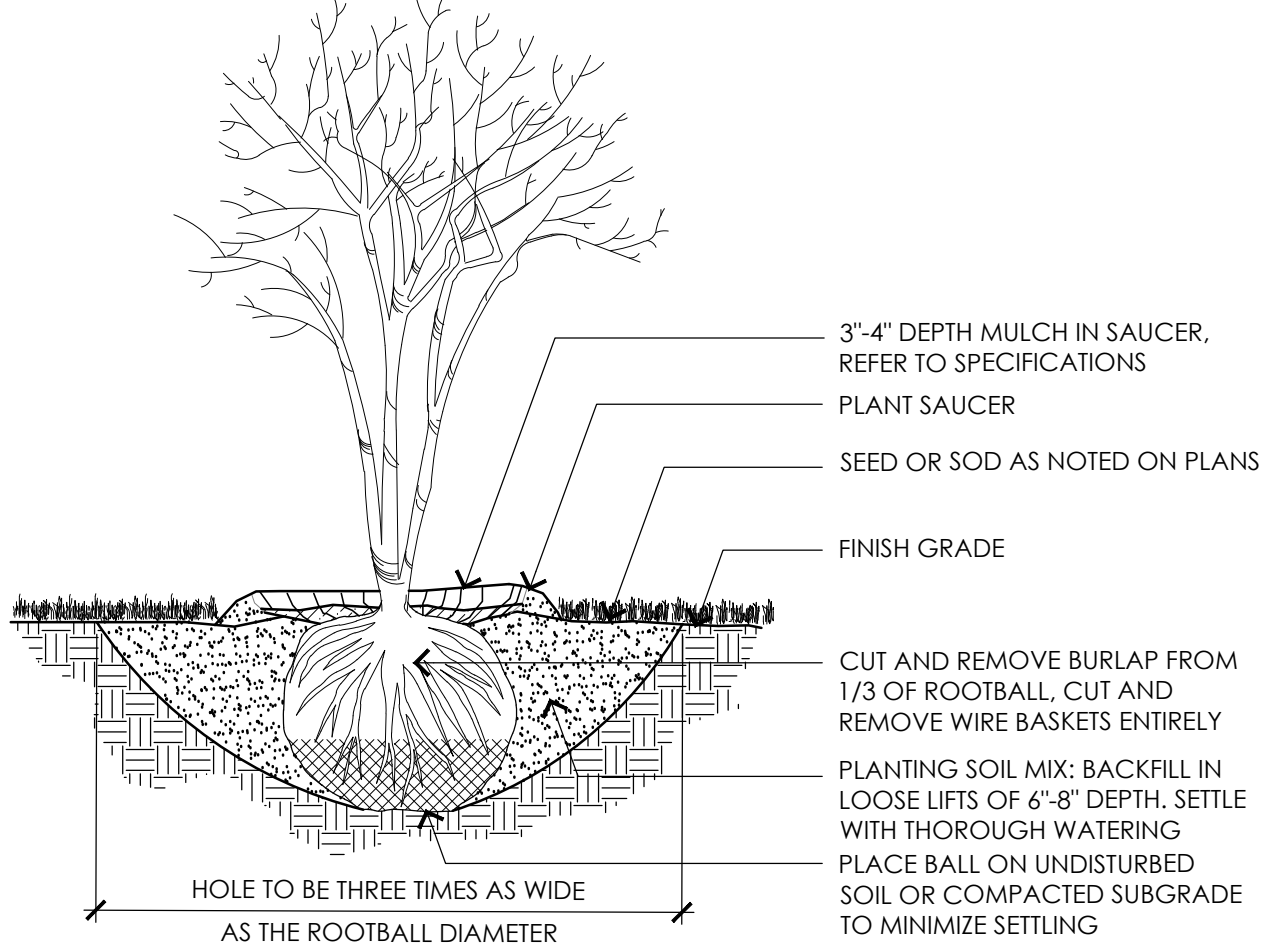
- NOTES:**
- TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE.
 - FOR TREES IN PLANT BEDS, PROVIDE 3" MULCH CONTINUOUS TO CUT EDGES OF PLANT BEDS.
 - INSTALL WOOD STAKES AND TREE TIES IF THE FOLLOWING APPLY:
 - THE PLANTING LOCATION IS IN AN OPEN AREA AND IS SUSCEPTIBLE TO HIGH WINDS.
 - THE TREE IS SUBSTANTIAL IN SIZE.
 - THE PLANTING SOILS AREA SANDY OR LOOSE IN TEXTURE.
 - TREE STAKES AND TIES SHALL BE REMOVED AFTER ONE YEAR.
 - REMOVE ALL LABELS, TAGS, AND FOREIGN MATERIALS FROM LIMBS.

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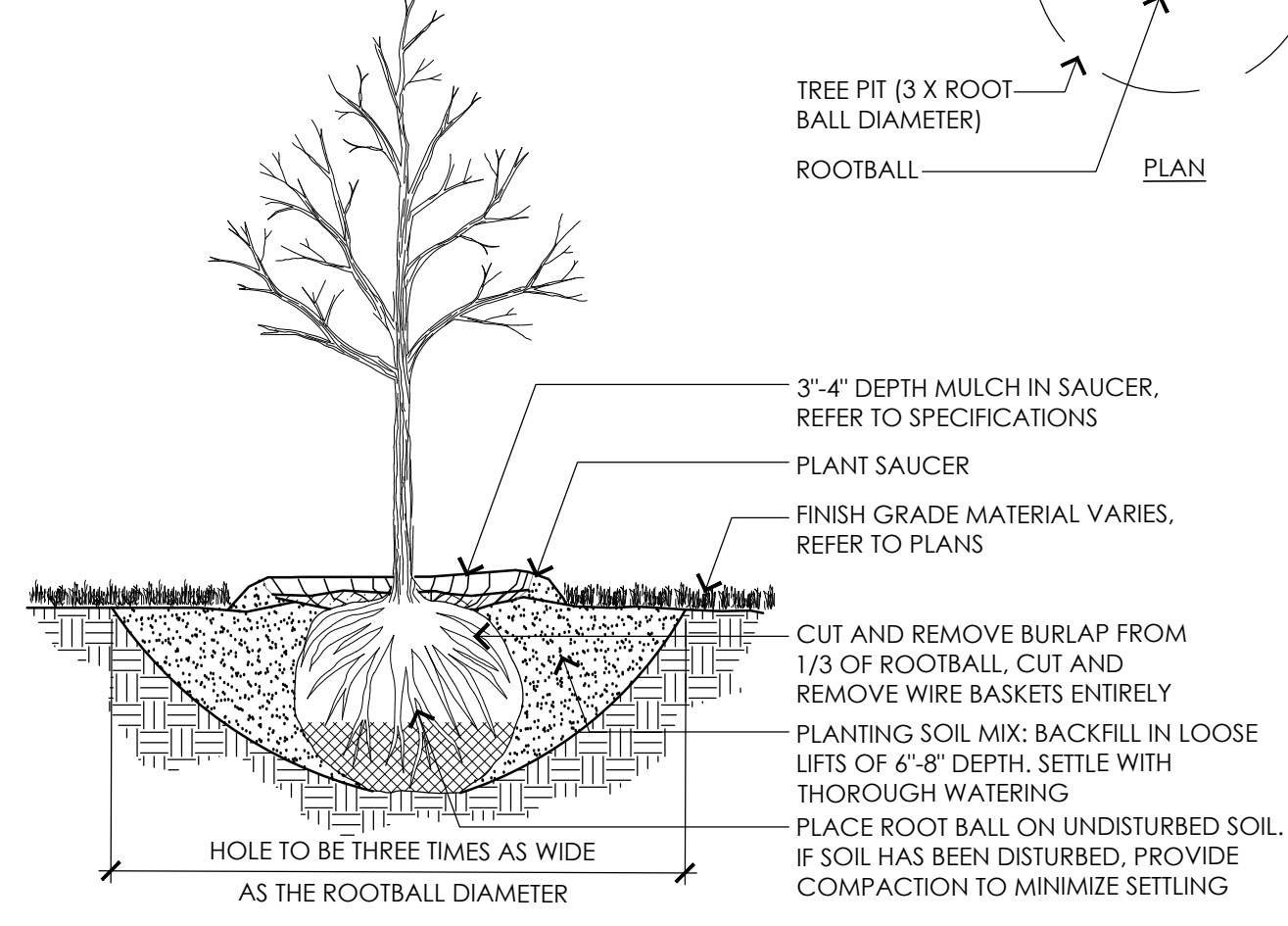
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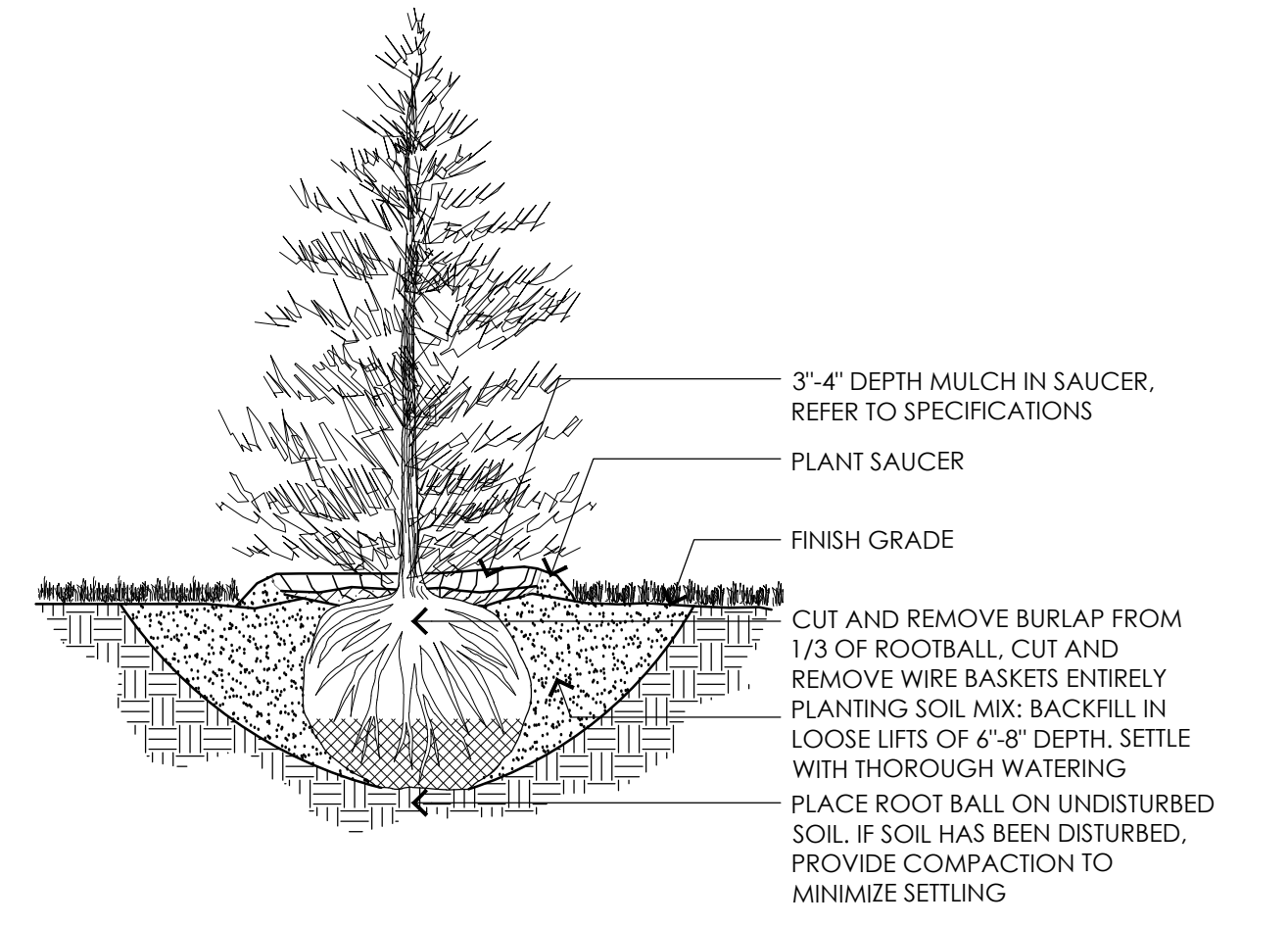
5 SHRUB
NOT TO SCALE



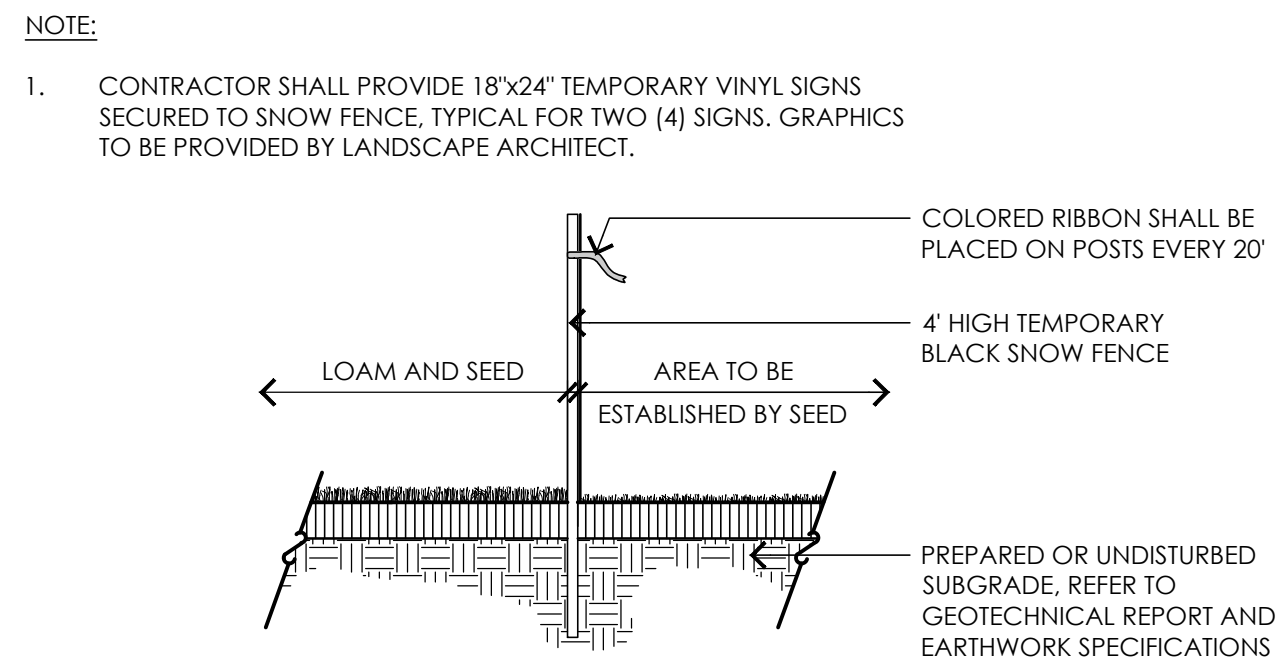
6 MULTI-STEM TREE
NOT TO SCALE



7 DECIDUOUS TREE
NOT TO SCALE



8 EVERGREEN TREE
NOT TO SCALE



9 TEMPORARY FENCING AT SEED ESTABLISHMENT AREAS
NOT TO SCALE

PLANTING SCHEDULE

| SYMBOL | BOTANICAL NAME | COMMON NAME | QTY. | SIZE | COMMENTS |
|---|--------------------------|-----------------------|------|------------|-----------------|
| DECIDUOUS TREES | | | | | |
| AR | ACER RUBRUM | RED MAPLE | 4 | 2-2.5' CAL | B&B |
| AC | AMELANCHIER CANADENSIS | SHADBLOW SERVICEBERRY | 2 | 2-2.5' CAL | B&B; MULTI-STEM |
| BP | BETULA POPULIFOLIA | GRAY BIRCH | 4 | 8-10' HT | B&B; MULTI-STEM |
| BN | BETULA NIGRA | RIVER BIRCH | 2 | 8-10' HT | B&B; MULTI-STEM |
| LS | LIQUIDAMBAR STYRACIFLUA | SWEETGUM | 1 | 2-2.5' CAL | B&B |
| LT | LIRIODENDRON TULIPIFERA | YELLOW POPLAR | 3 | 2-2.5' CAL | B&B |
| NS | NYSSA SYLVATICA | BLACK TUPELO | 5 | 2-2.5' CAL | B&B |
| QP | QUERCUS PALAISTRUS | PIN OAK | 2 | 2-2.5' CAL | B&B |
| TA | TILIA AMERICANA | AMERICAN LINDEN | 1 | 2-2.5' CAL | B&B |
| UA | ULMUS AMERICANA | AMERICAN ELM | 5 | 2-2.5' CAL | B&B |
| EVERGREEN TREES | | | | | |
| JV | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 11 | 6-8' HT | B&B |
| LL | LARIX LARICINA | TAMARAK | 8 | 6-8' HT | B&B |
| PR | PINUS RIGIDA | PITCH PINE | 4 | 6-8' HT | B&B |
| PS | PINUS STROBUS | EASTERN WHITE PINE | 1 | 8-10' HT | B&B |
| SHRUBS | | | | | |
| CA | CORYLUS AMERICANA | AMERICAN HAZELNUT | 13 | 3 GAL | AS SHOWN |
| MP | MYRICA PENNSYLVANICA | BAYBERRY | 7 | 3 GAL | AS SHOWN |
| RV | ROSA VIRGINIA | VIRGINIA ROSA | 9 | 3 GAL | SPACE 48" O.C. |
| VA | VIBURNUM ACERIFOLIUM | MAPLE LEAF VIBURNUM | 10 | 3 GAL | AS SHOWN |
| PERENNIALS, GROUNDCOVER, AND GRASSES | | | | | |
| CP | CAREX PENNSYLVANICA | SEDGE | 1281 | 1 GAL | SPACE 12" O.C. |
| DP | DENNSTAEDIA PUNCTILOBULA | HAY SCENTED FERN | 262 | 1 GAL | SPACE 24" O.C. |
| PV | PANICUM VIRGATUM | SWITCH GRASS | 95 | 1 GAL | SPACE 36" O.C. |
| RA | RHUS AROMATICA 'GRO LOW' | FRAGRANT SUMAC | 75 | 1 GAL | SPACE 48" O.C. |
| RH | RUDBECKIA HIRTA | BLACK-EYED SUSAN | 214 | 1 GAL | SPACE 30" O.C. |
| SN | SALVIA NEMOROSA | WOODLAND SAGE | 510 | 1 GAL | SPACE 18" O.C. |

UPLAND SEED MIX

| BOTANICAL NAME | COMMON NAME | |
|--|------------------------|-------|
| NEW ENGLAND ROADSIDE MATRIX UPLAND SEED MIX | | |
| ELYMUS CANADENSIS | CANADA WILD RYE | FACW+ |
| SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM | FACU |
| FESTUCA RUBRA | CREeping RED FESCUE | FACU |
| ANDROPOGON GERARDII | BIG BLUESTEM | FAC |
| SORGHASTRUM NUTANS | INDIAN GRASS | UPL |
| CHAMAECRISTA FASCICULATA | PARTRIDGE PEA | FACU |
| PANICUM VIRGATUM | SWITCHGRASS | FAC |
| RHUS TYPHINA | STAGHORN SUMAC | |
| CORNUS AMOMIUM | SILKY DOGWOOD | FACW |
| CORNUS RACEMOSA | GREY DOGWOOD | FAC |
| ASCLEPIAS SYRIACA | COMMON MILKWEED | FACU- |
| ZIZIA AUREA | GOLDEN ALEXANDERS | FAC |
| DESMODIUM CANADENSE | SHOWY TICK TREFOLIUM | FAC |
| LESPEDEZA CAPITATA | BUSH CLOVER | FACU- |
| HELIOPSIS HELIANTHOIDES | OX EYE SUNFLOWER | UPL |
| MONARDA FISTULOSA | WILD BERGAMOT | UPL |
| RUDBECKIA HIRTA | BLACK EYED SUSAN | FACU- |
| ASTER LAEVIS | SMOOTH BLUE ASTER | UPL |
| EUTHAMIA GRAMINIFOLIA | GRASS LEAVED GOLDENROD | FAC |
| SOLIDAGO JUNCEA | EARLY GOLDENROD | |

APPLY 18LBS/ACRE: 1250 SF/LB

- NOTES:**
- SEED MIXES SHALL BE EQUIVALENT TO THE SEED MIXES SHOWN AS DESIGNED AND SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA (413) 548-8000.
 - CONTRACTOR SHALL SUBMIT ALL SEED MIXES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO PLACING ORDER.

UPLAND SEED MIX | 50:50 Blend of Upland Seed Mix and Wet Meadow Seed Mix Quantity:
Site Development Areas ±5,290 sf 1 lb/1250 sf (qty. ±5 lbs)

WETLAND MEADOW SEED MIX | 50:50 Blend of Upland Seed Mix and Wet Meadow Seed Mix Quantity:
Site Development Areas ±622 sf 1 lb/1250 sf (qty. ±1 lbs)

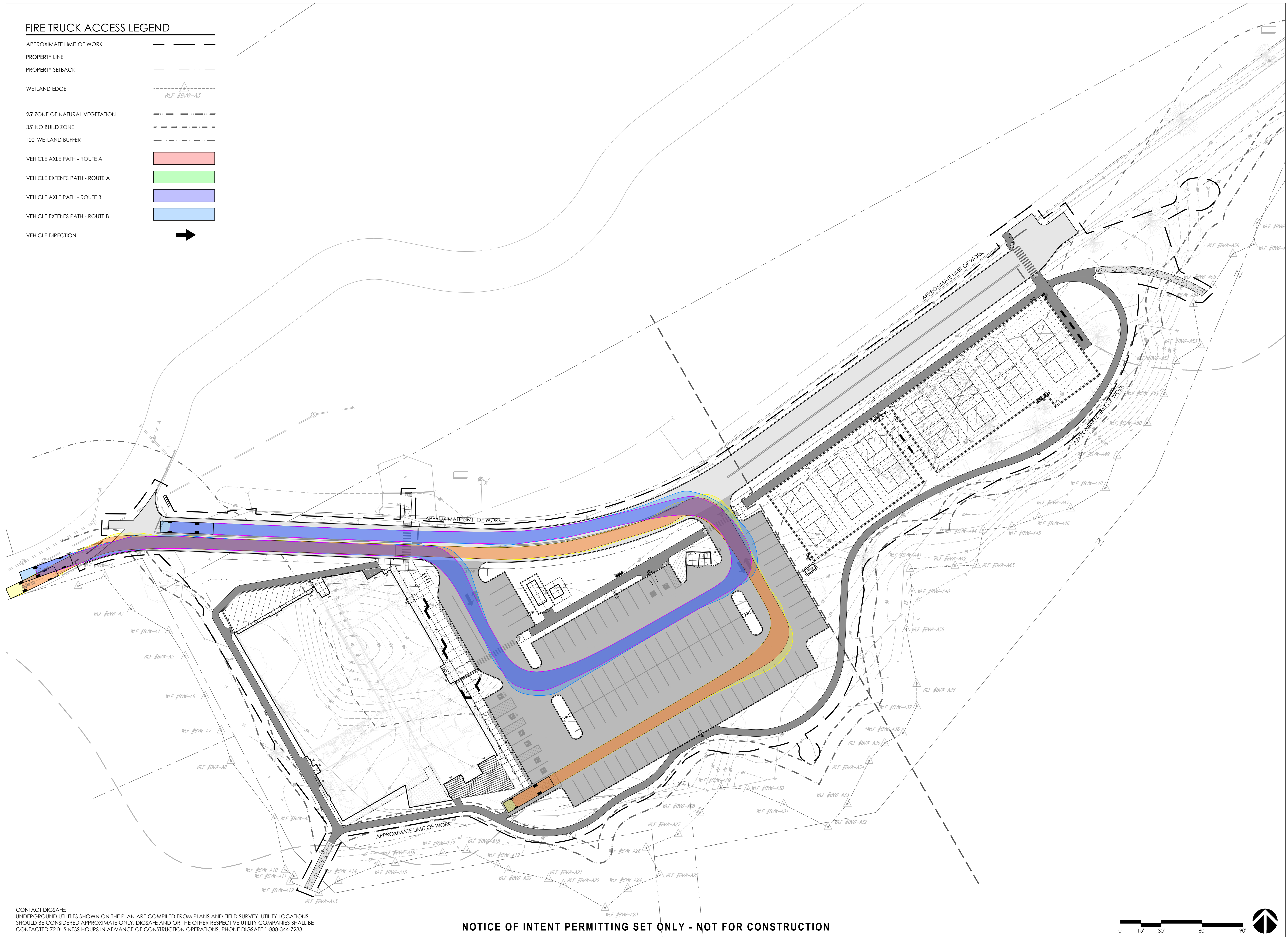
WET MEADOW SEED MIX

| BOTANICAL NAME | COMMON NAME | |
|--|-----------------------------|-------|
| NEW ENGLAND ROADSIDE MATRIX WET MEADOW SEED MIX | | |
| ELYMUS RIPARIUS | RIVERBANK WILD RYE | FACW |
| FESTUCA RUBRA | CREeping RED FESCUE | FACU |
| ELYMUS VIRGINICUS | VIRGINIA WILD RYE | FACW- |
| BIDENS ARISTOSA | TICKSEED SUNFLOWER | FACW |
| PANICUM DICHOTOMIFLORUM | SMOOTH PANIC GRASS | FACW- |
| PANICUM VIRGATUM | SWITCHGRASS | FAC |
| CORNUS AMOMIUM | SILKY DOGWOOD | FACW |
| VERBENA HASTATA | BLUE VERVAIN | FACW |
| CAREX LURIDA | LURID SEDGE | OBL |
| CAREX SCOPARIA | BLUNT BROOM SEDGE | FACW |
| HELENIUM AUTUMNALE | COMMON SNEEZEWEED | FACW+ |
| VIBURNUM DENTATUM | ARROW WOOD VIBURNUM | FAC |
| ASCLEPIAS INCARNATA | SWAMP MILKWEED | OBL |
| ASTER NOVAE-ANGLIAE | NEW ENGLAND ASTER | FACW- |
| EUPATORIUM MACULATUM | SPOTTED JOE PYE WEED | FACW |
| EUPATORIUM PERFOLIATUM | BONASET | FACW |
| AGROSTIS SCABRA | ROUGH BENTGRASS/TICKLEGRASS | FAC |
| SCIRPUS ATROVIRENS | GREEN BULRUSH | OBL |
| SAMBUCUS CANADENSIS | ELDERBERRY | FACW- |

APPLY 18LBS/ACRE: 1250 SF/LB

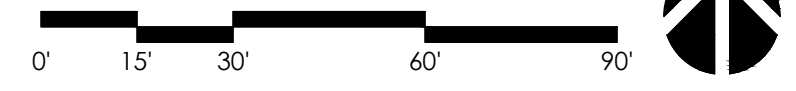
FIRE TRUCK ACCESS LEGEND

- APPROXIMATE LIMIT OF WORK
- PROPERTY LINE
- PROPERTY SETBACK
- WETLAND EDGE
- 25' ZONE OF NATURAL VEGETATION
- 35' NO BUILD ZONE
- 100' WETLAND BUFFER
- VEHICLE AXLE PATH - ROUTE A
- VEHICLE EXTENTS PATH - ROUTE A
- VEHICLE AXLE PATH - ROUTE B
- VEHICLE EXTENTS PATH - ROUTE B
- VEHICLE DIRECTION



CONTACT DIGSAFE:
 UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION



ARCHITECT
bh+a

Bargmann Hendrie + Archetype, Inc.
 9 Channel Center Street, Suite 300
 Boston, MA 02210
 617 350 0450

PROJECT NAME
Reading Center for Active Living (ReCAL) + Outdoor Community Pickleball Courts

Symonds Way
 Reading, MA 01867

CLIENT
Town of Reading
 16 Lowell Street
 Reading, MA 01867

PROJECT TEAM

Civil and Landscape Engineer
 Activitas
 70 Milton Street
 Dedham, MA 02026
 (781) 326-2600

Structural Engineer
 Foley Buhl Roberts & Associates, Inc.
 2227 Washington Street
 Newton, MA 02462
 (617) 527-9600

MEPPF Engineer
 Allied Consulting Engineering
 270 Littleton Road, Suite 11
 Westford, MA 01886
 (978) 443-7888

AV / IT / Security
 Building Technology Consulting
 992 Bedford St.
 Bridgewater, MA 02324
 (617) 799-4309

Food Service
 Colburn Coyette
 100 Ledgewood Pl #104
 Rockland, MA 02370
 (781) 826-5522

Wetland Scientist
 Epsilon Associates, Inc.
 3 Mill and Main Place, Suite 250
 Maynard, MA 01754
 (978) 897-7100

REVISIONS

| PLANNING + CONSERVATION COMMENTS - 8/13/25 | DATE |
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Fire Truck Access Plan

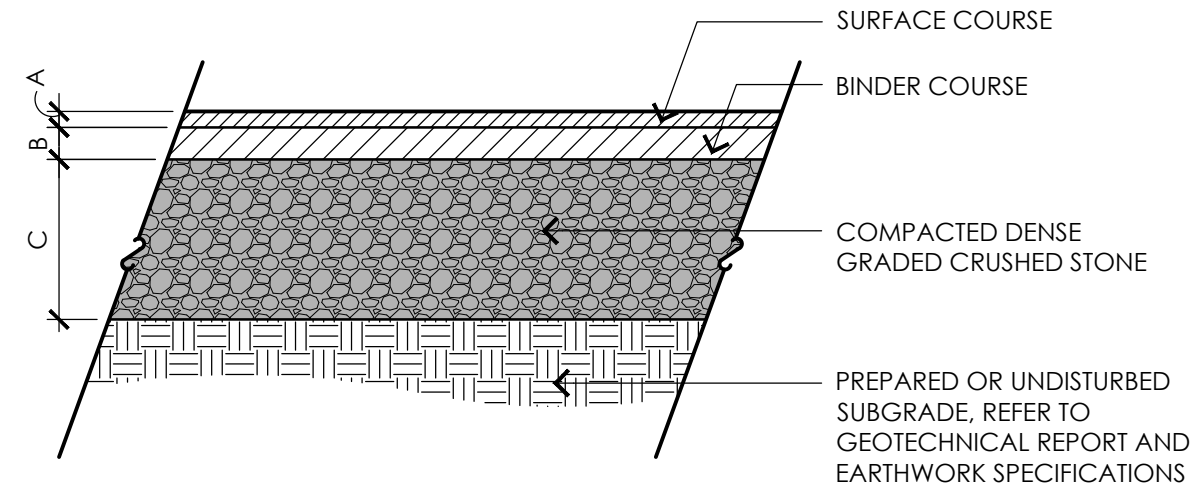
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 3513 PROJECT # FILE NAME

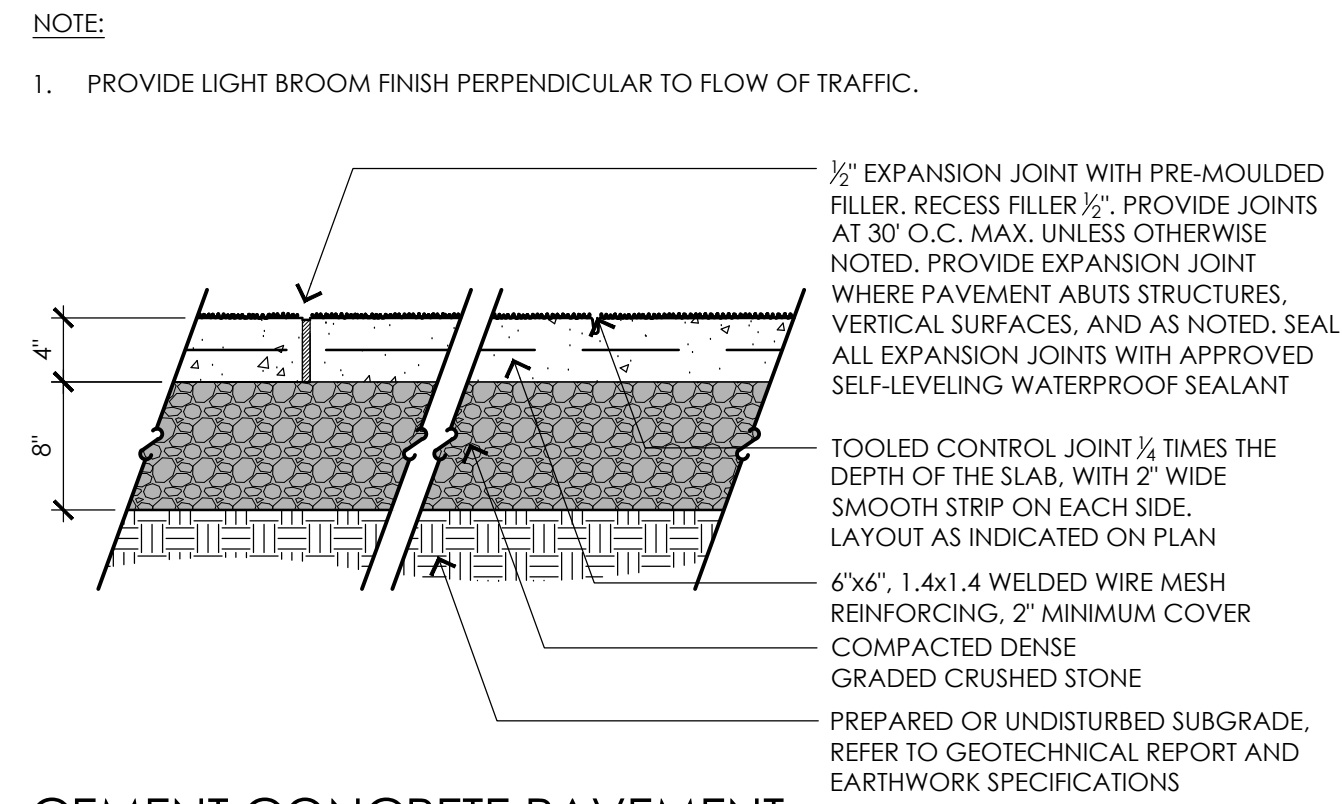
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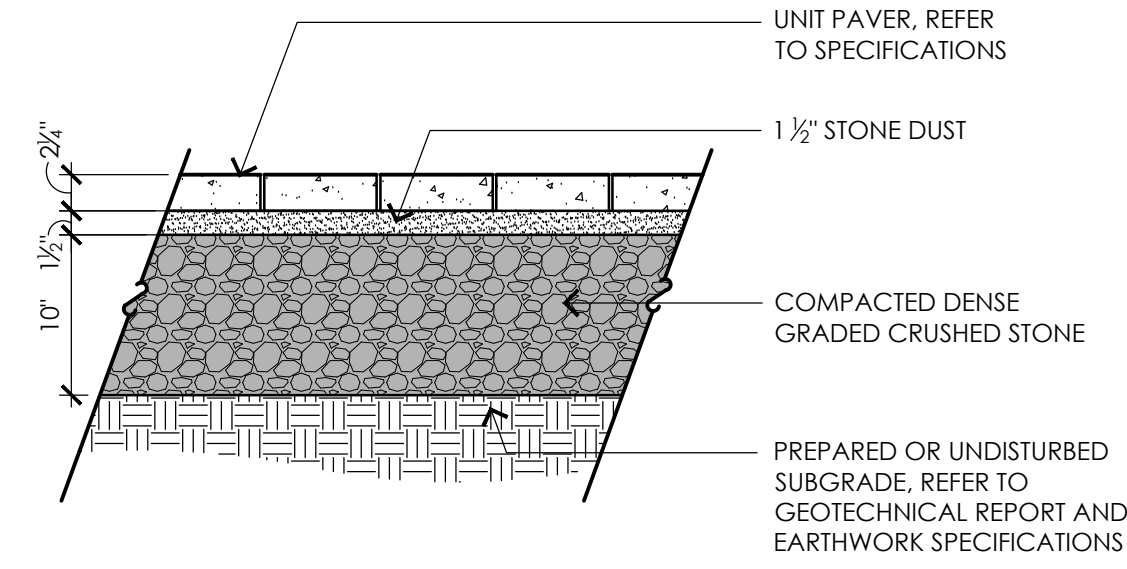
| TYPE | DESCRIPTION | A | B | C |
|------|-------------|--------|--------|-----|
| 1 | WALKWAYS | 1-1/2" | 1-3/4" | 10" |
| 2 | PARKING LOT | 1-3/4" | 1-3/4" | 12" |
| 3 | ROADWAY | 1-1/2" | 2-1/2" | 12" |



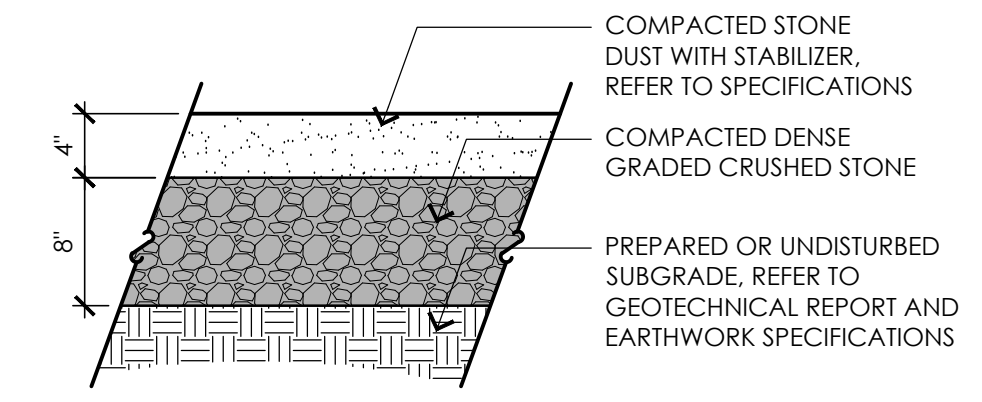
1 BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



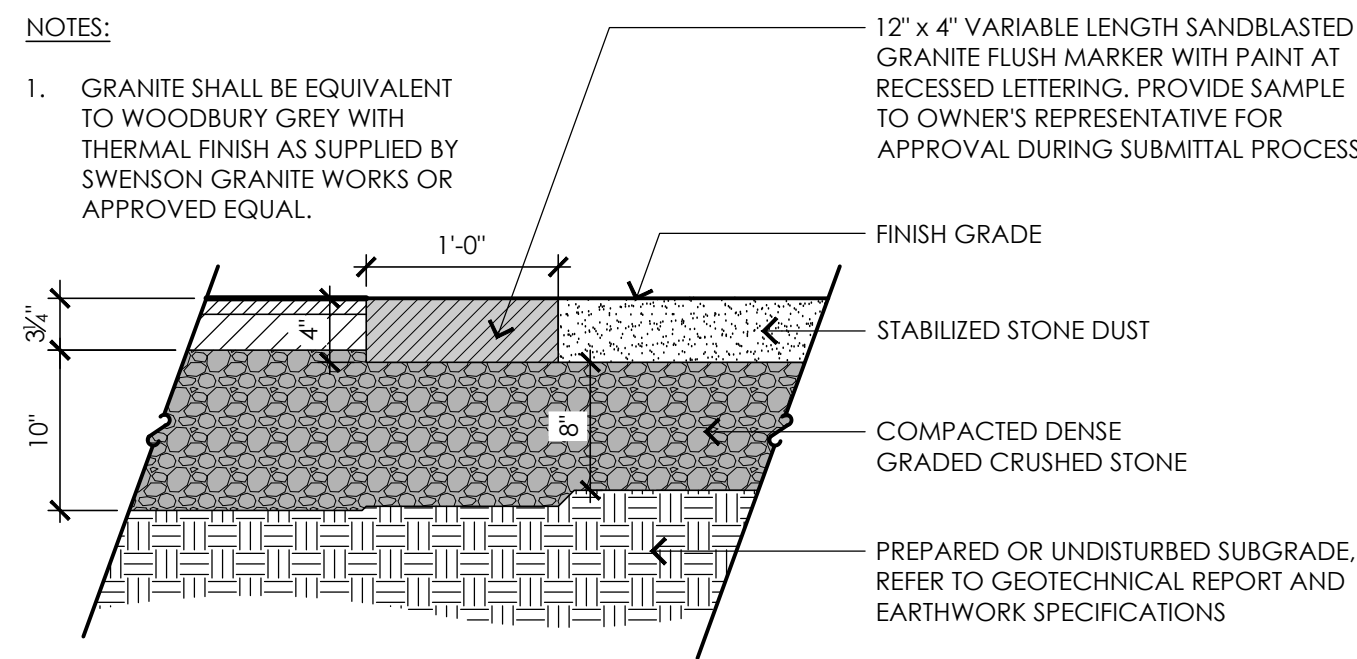
2 CEMENT CONCRETE PAVEMENT
NOT TO SCALE



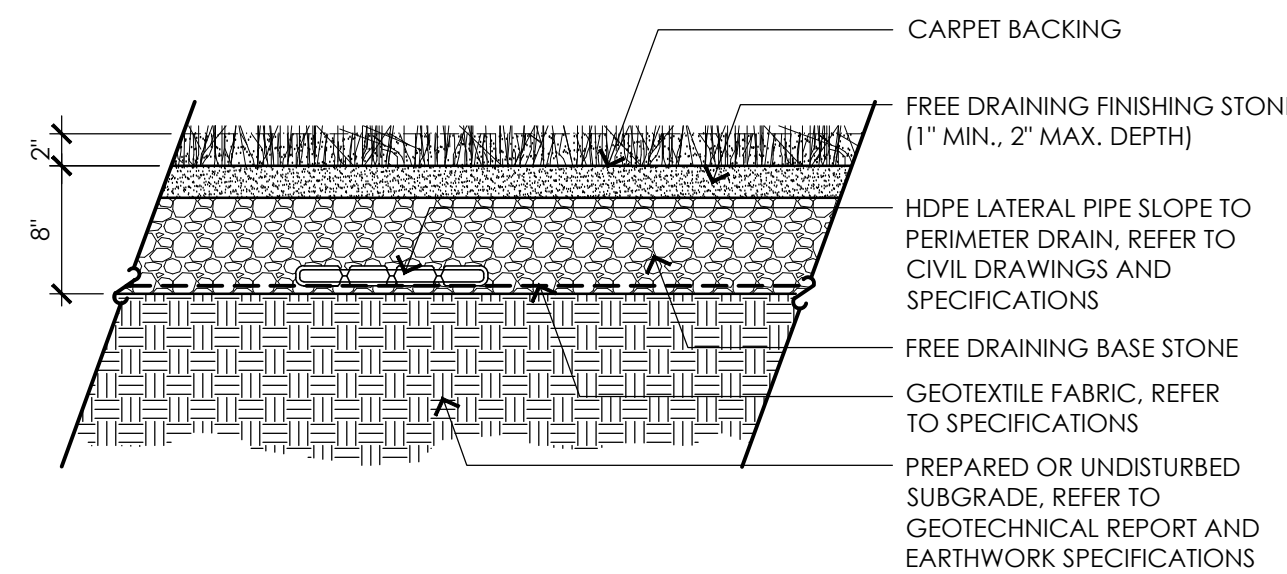
3 UNIT PAVERS
NOT TO SCALE



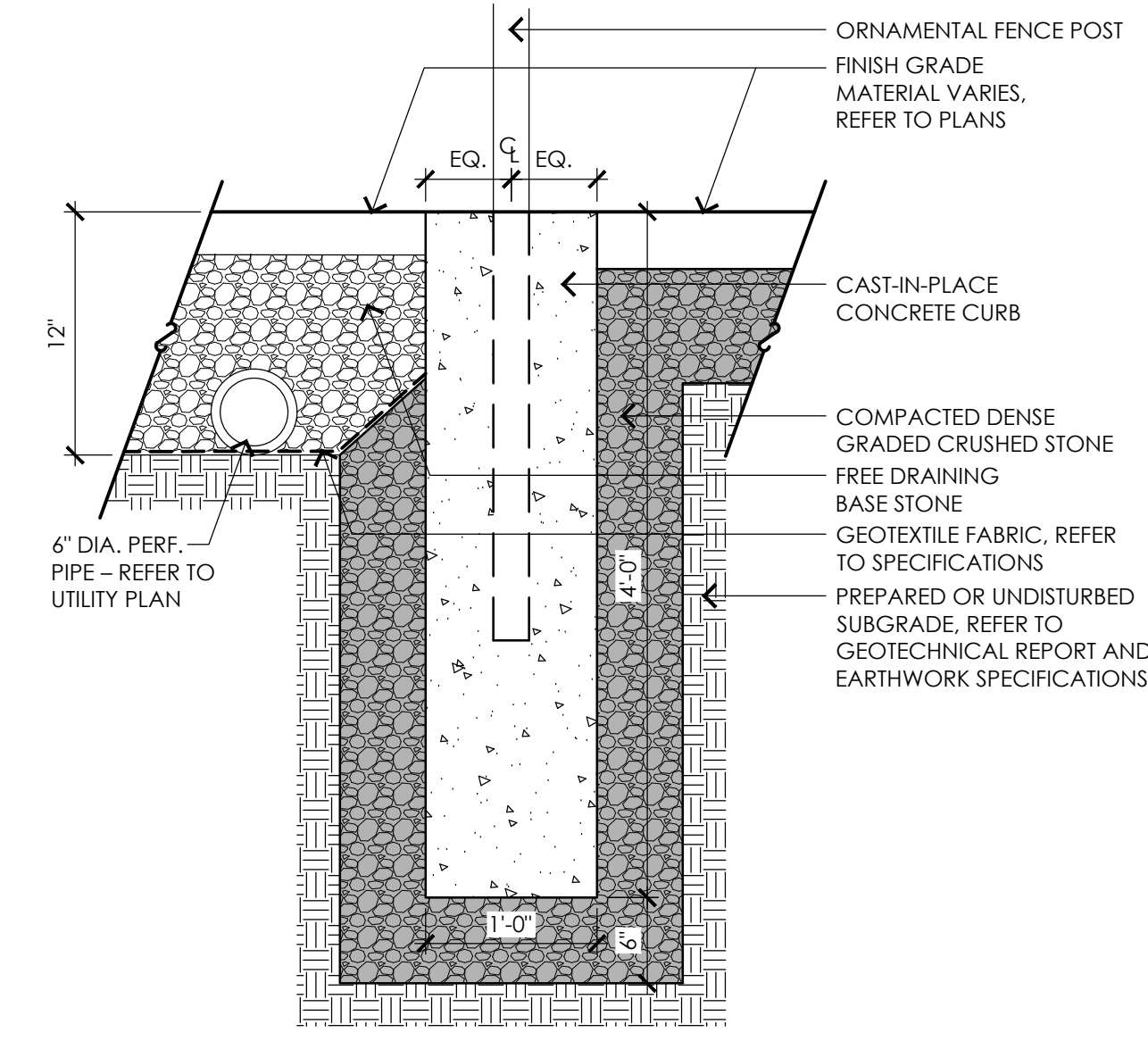
4 STABILIZED STONE DUST PAVEMENT
NOT TO SCALE



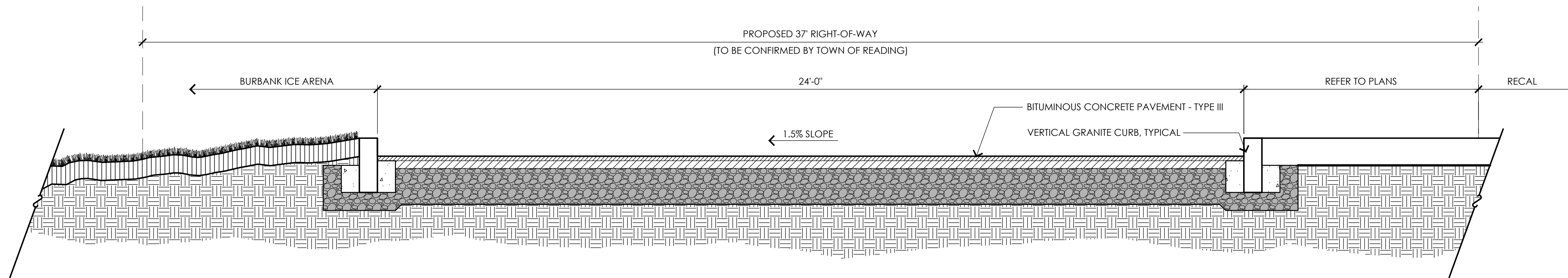
5 STONE DUST TRANSITION CURB
NOT TO SCALE



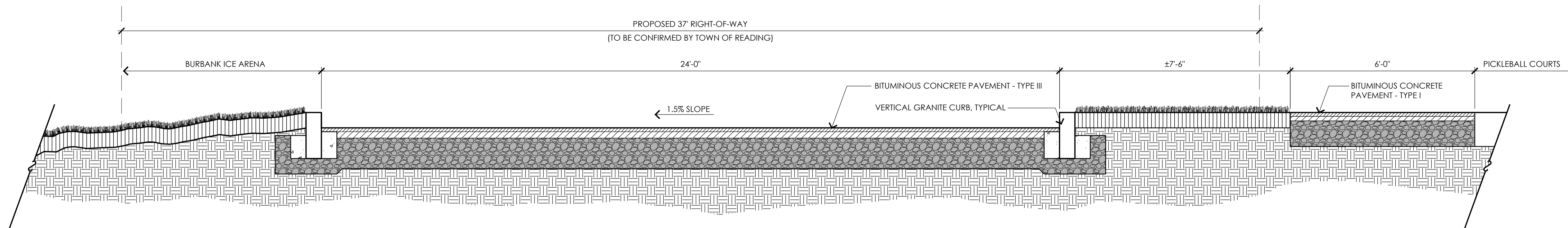
6 NON-INFILLED SYNTHETIC TURF SYSTEM
NOT TO SCALE



7 CEMENT CONCRETE TURF ANCHOR
NOT TO SCALE



8 RANGE ROAD CROSS SECTION A - A'
NOT TO SCALE



9 RANGE ROAD CROSS SECTION B - B'
NOT TO SCALE

NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION

ARCHITECT

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617 350 0450

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REVISIONS

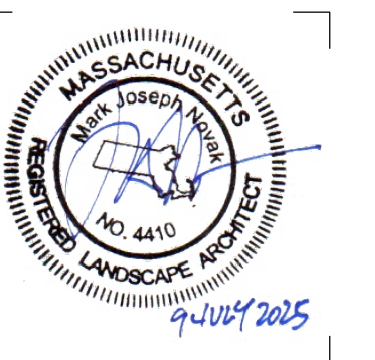
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Detail Sheet I

DRAWING INFORMATION



07/09/2025

DATE OF ISSUE

NOTICE OF INTENT

DESCRIPTION

AS NOTED

SCALE

PROJECT #

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SCALE

PROJECT #

DRAWING NUMBER

DATE OF ISSUE

DESCRIPTION

AS NOTED

SCALE

PROJECT #

DRAWING NUMBER

DATE OF ISSUE

DESCRIPTION

AS NOTED

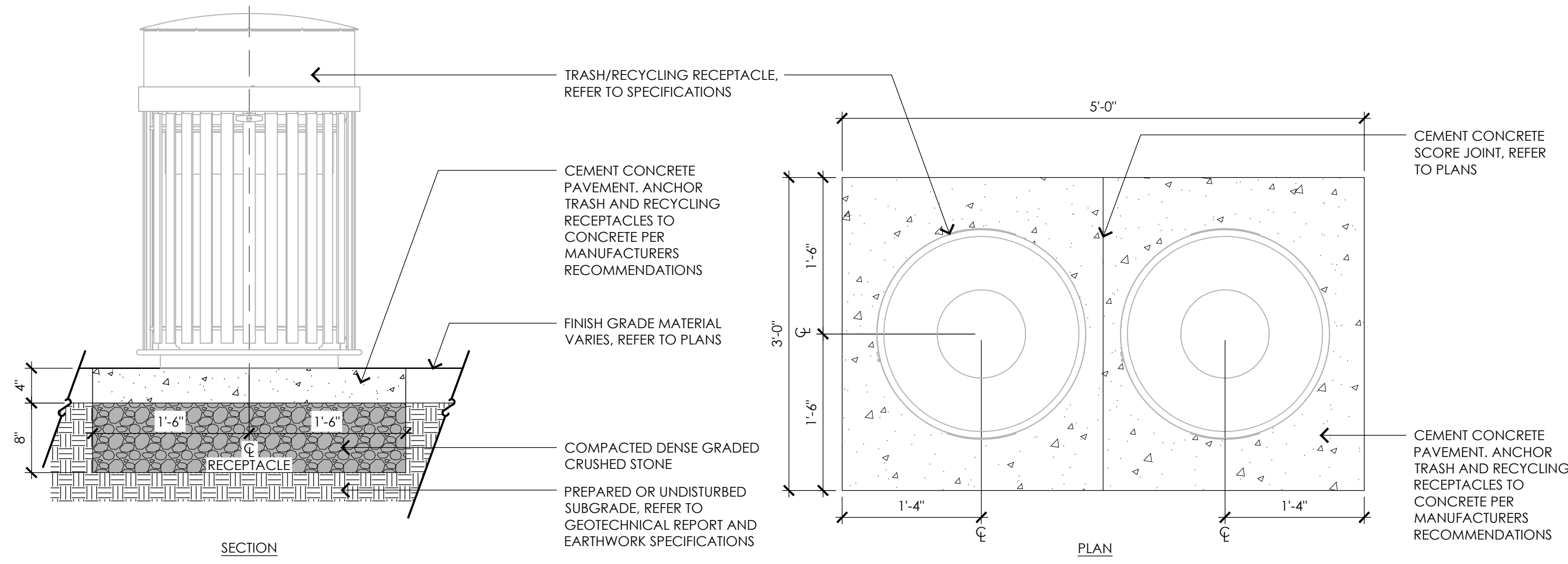
SCALE

PROJECT #

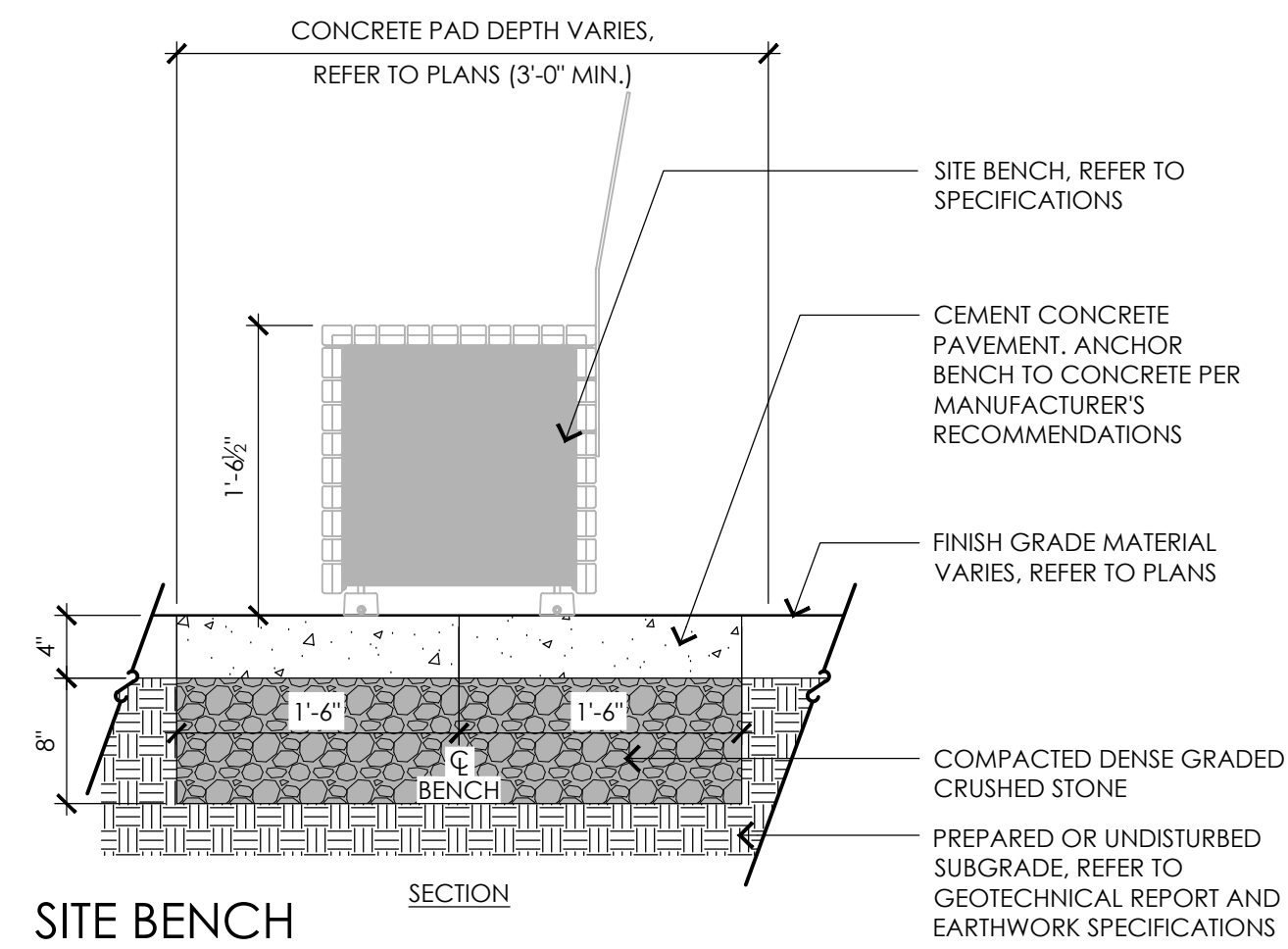
DRAWING NUMBER

DATE OF ISSUE

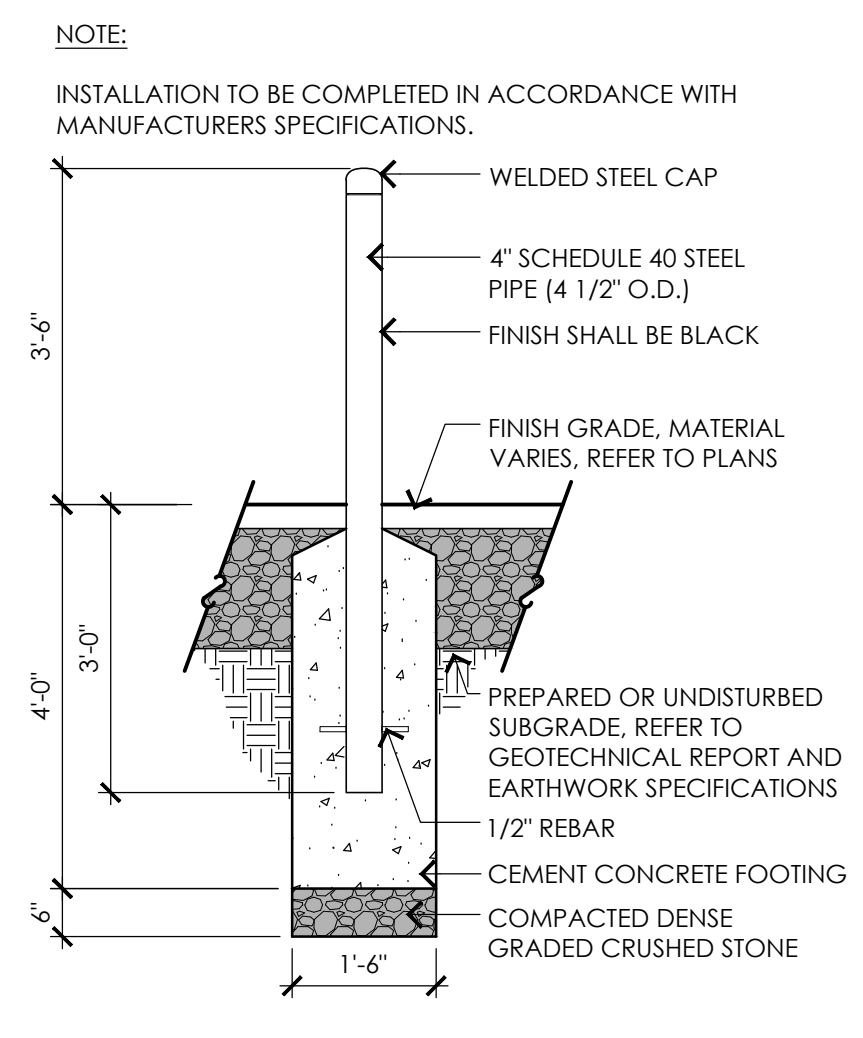
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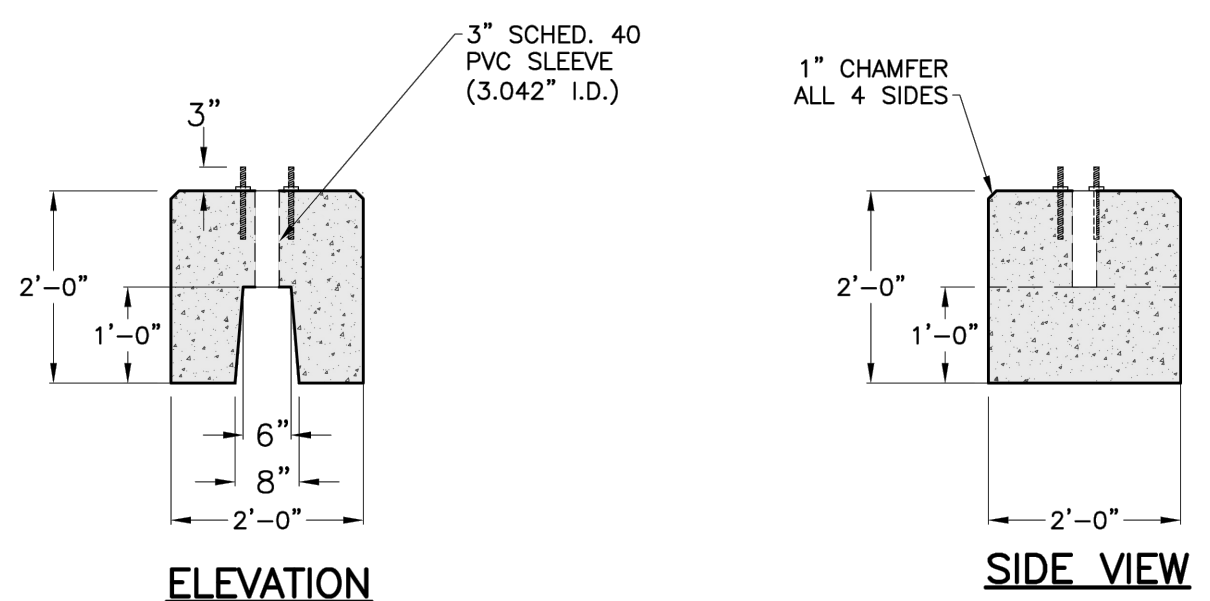
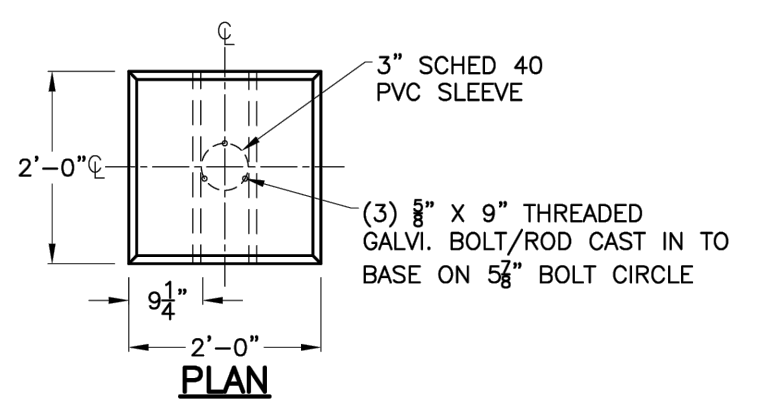
1 TRASH/RECYCLING RECPACTLES ON CEMENT CONCRETE PAD
NOT TO SCALE



2 SITE BENCH
NOT TO SCALE

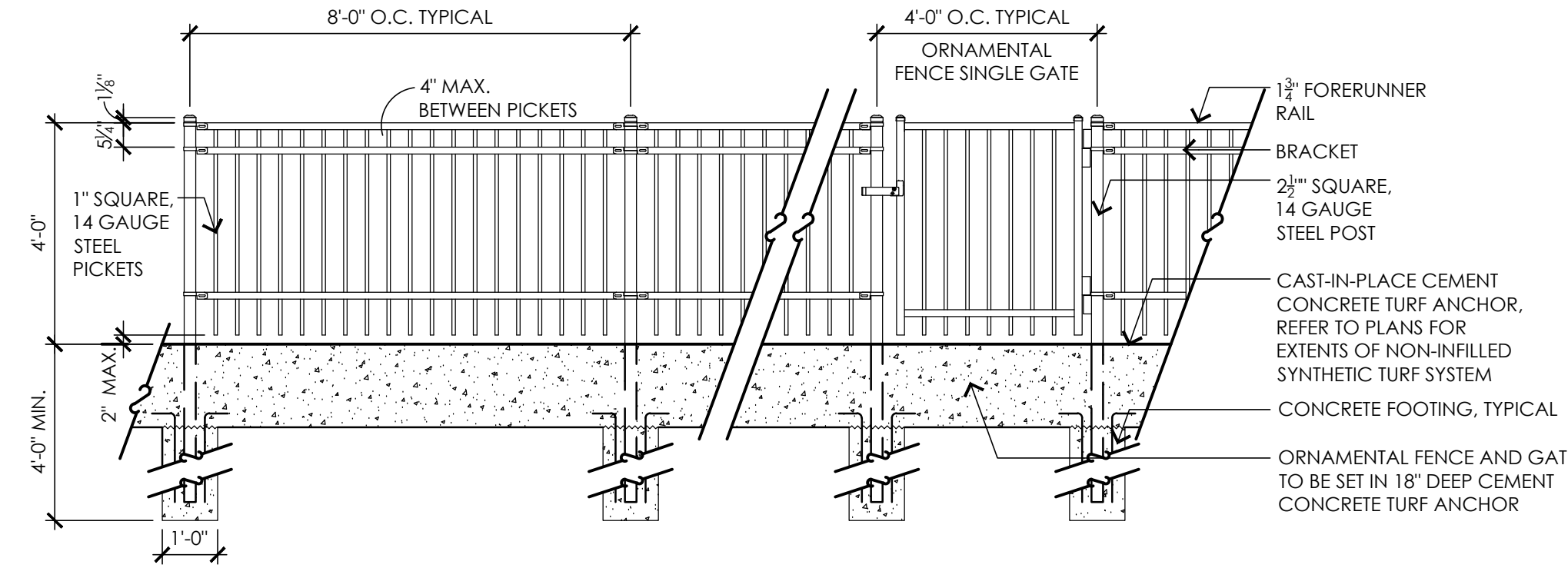


3 BOLLARD
NOT TO SCALE

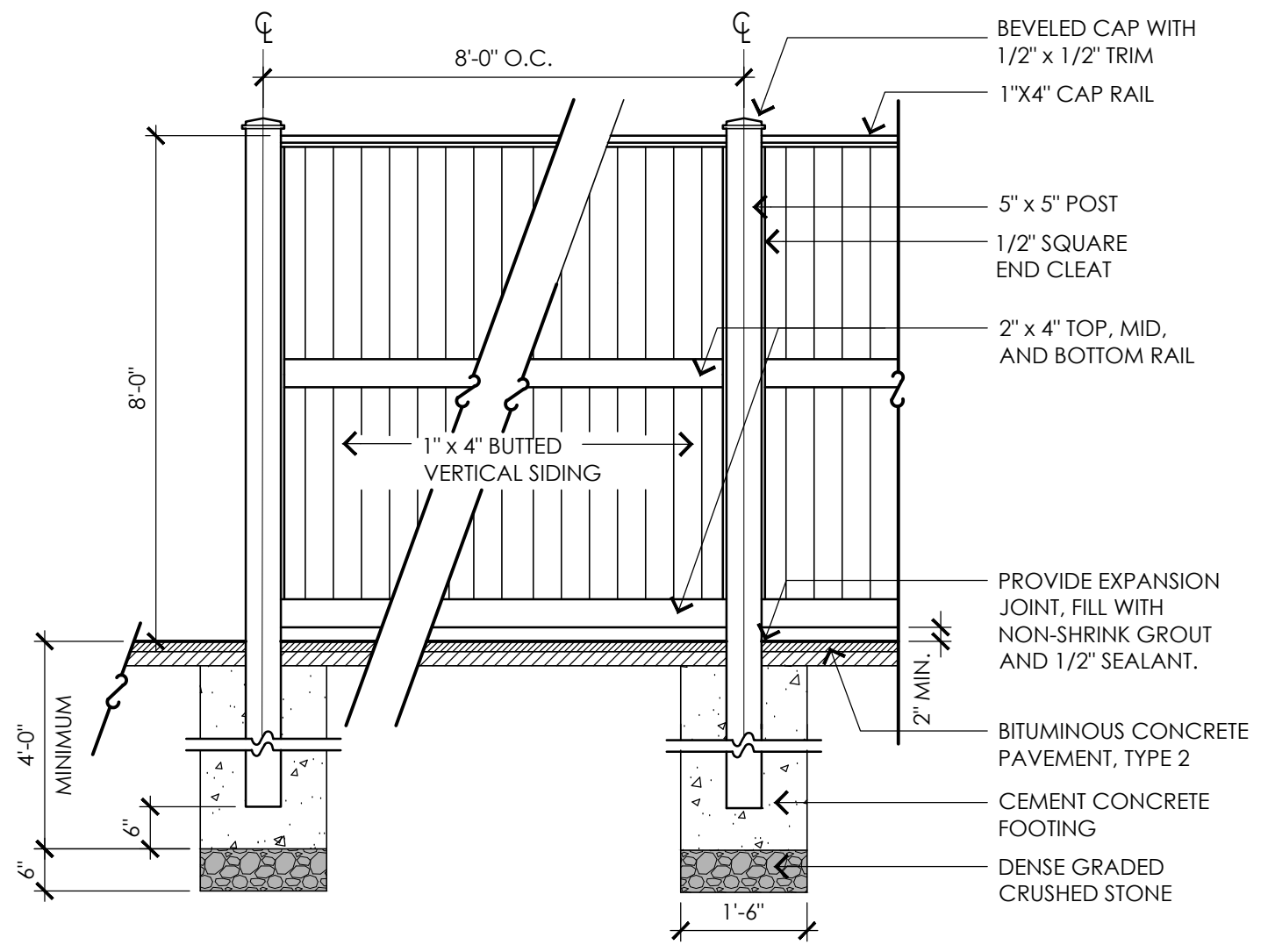


4 ELECTRIC VEHICLE CHARGING BASE
NOT TO SCALE

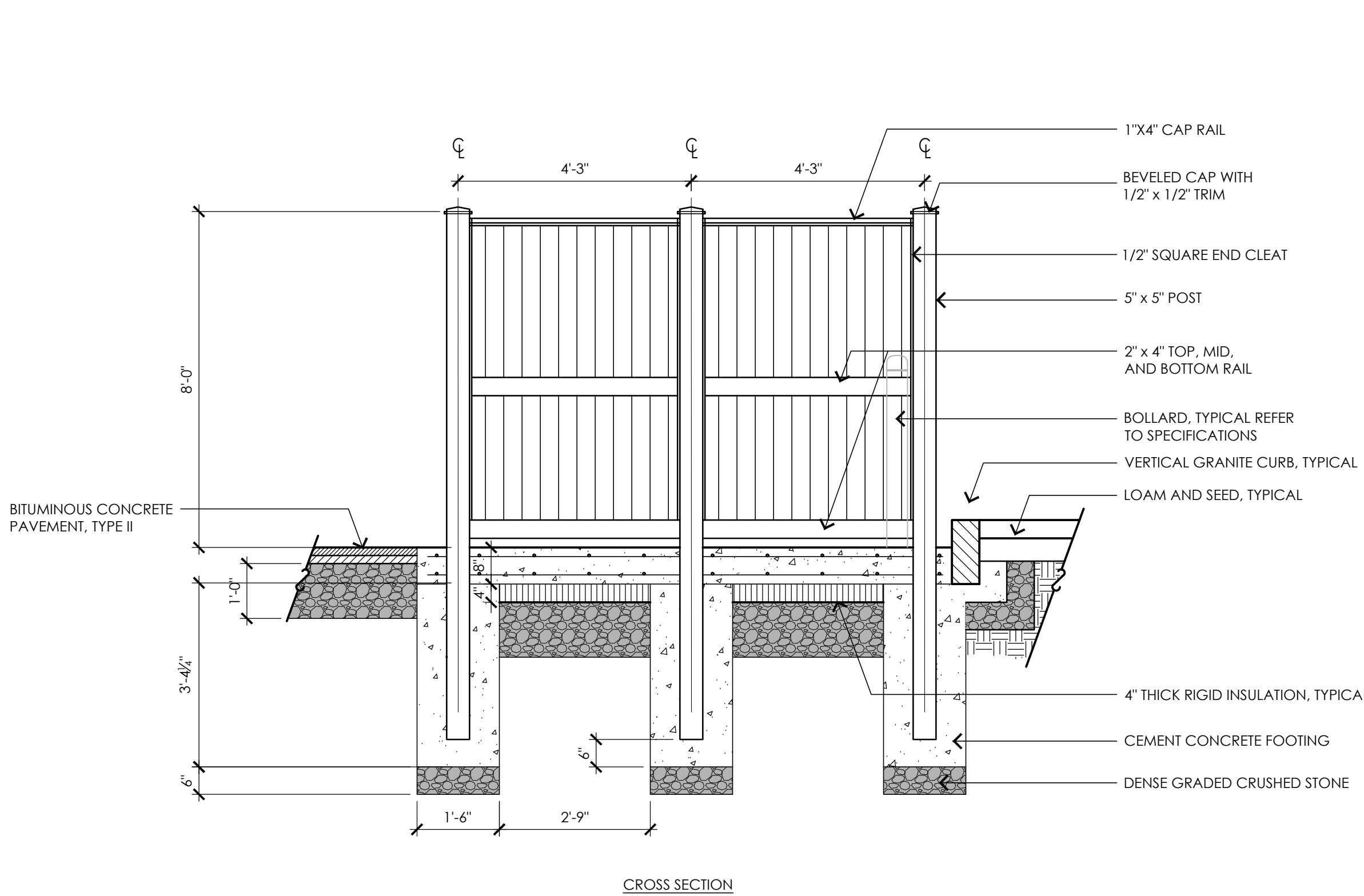
- NOTES:**
- REFER TO SPECIFICATIONS FOR ACCEPTABLE ORNAMENTAL FENCE MANUFACTURER AND MODEL.
 - MAINTAIN TOP OF PICKETS 4'-0" ABOVE GRADE. ALL PICKETS AND POSTS SHALL REMAIN PLUMB; NO STEPPING.
 - ALL ORNAMENTAL FENCE, POSTS, GATES AND ASSOCIATED HARDWARE SHALL BE POWDER COATED BLACK, UNLESS OTHERWISE NOTED.



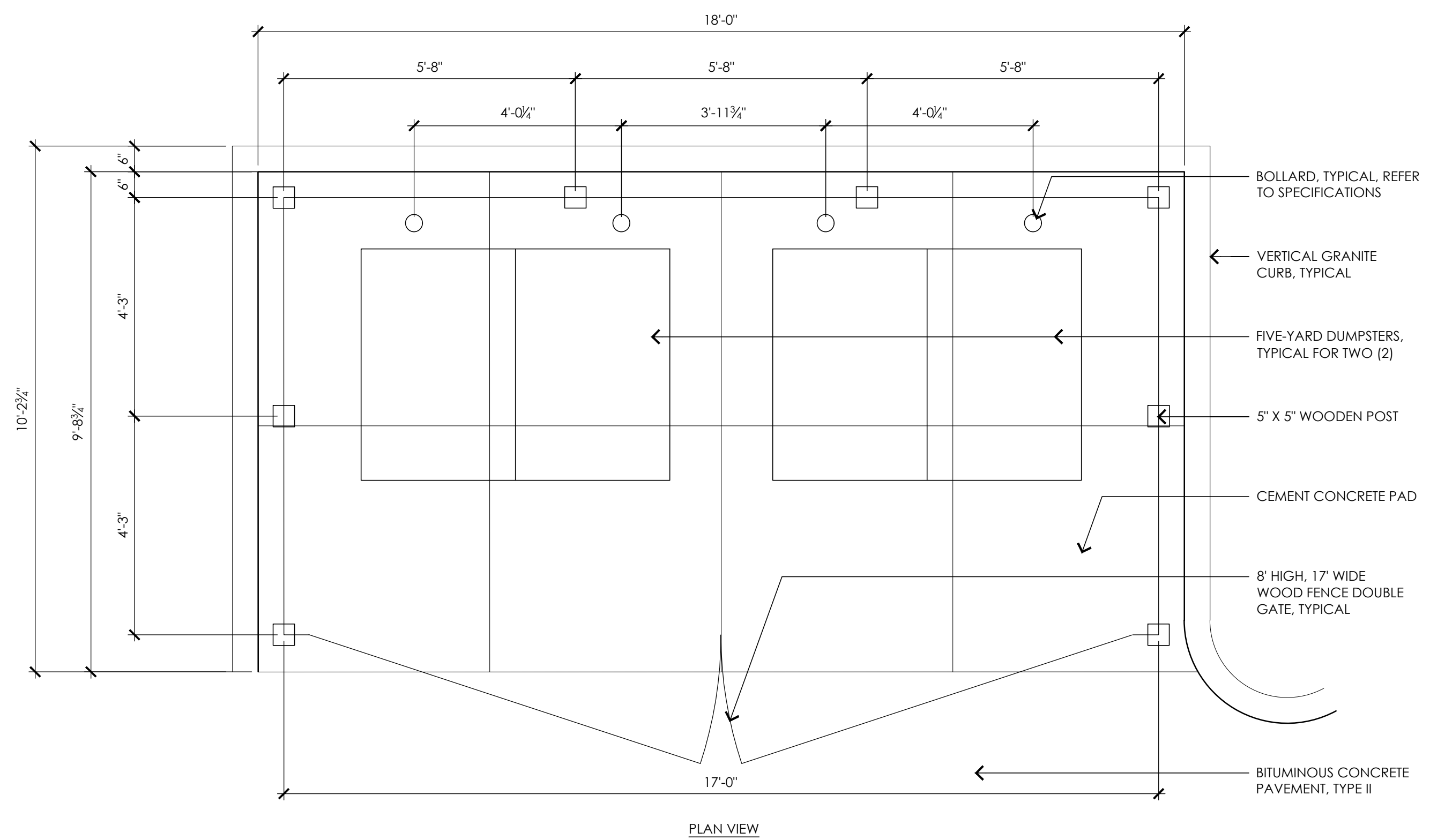
5 4' HIGH ORNAMENTAL FENCE AND GATES
NOT TO SCALE



6 8' HIGH WOOD FENCE AND GATES
NOT TO SCALE



7 8' HIGH WOOD FENCE AND GATES ENCLOSURE IN CEMENT CONCRETE PAD
NOT TO SCALE



7 8' HIGH WOOD FENCE AND GATES ENCLOSURE IN CEMENT CONCRETE PAD
NOT TO SCALE

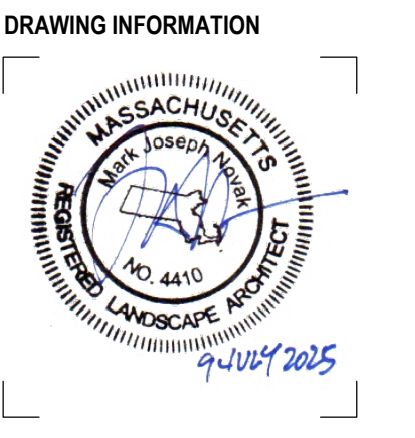
NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION

REVISIONS

| NO. | DESCRIPTION | DATE |
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DRAWING TITLE

Detail Sheet II



DRAWING INFORMATION

07/09/2025
DATE OF ISSUE

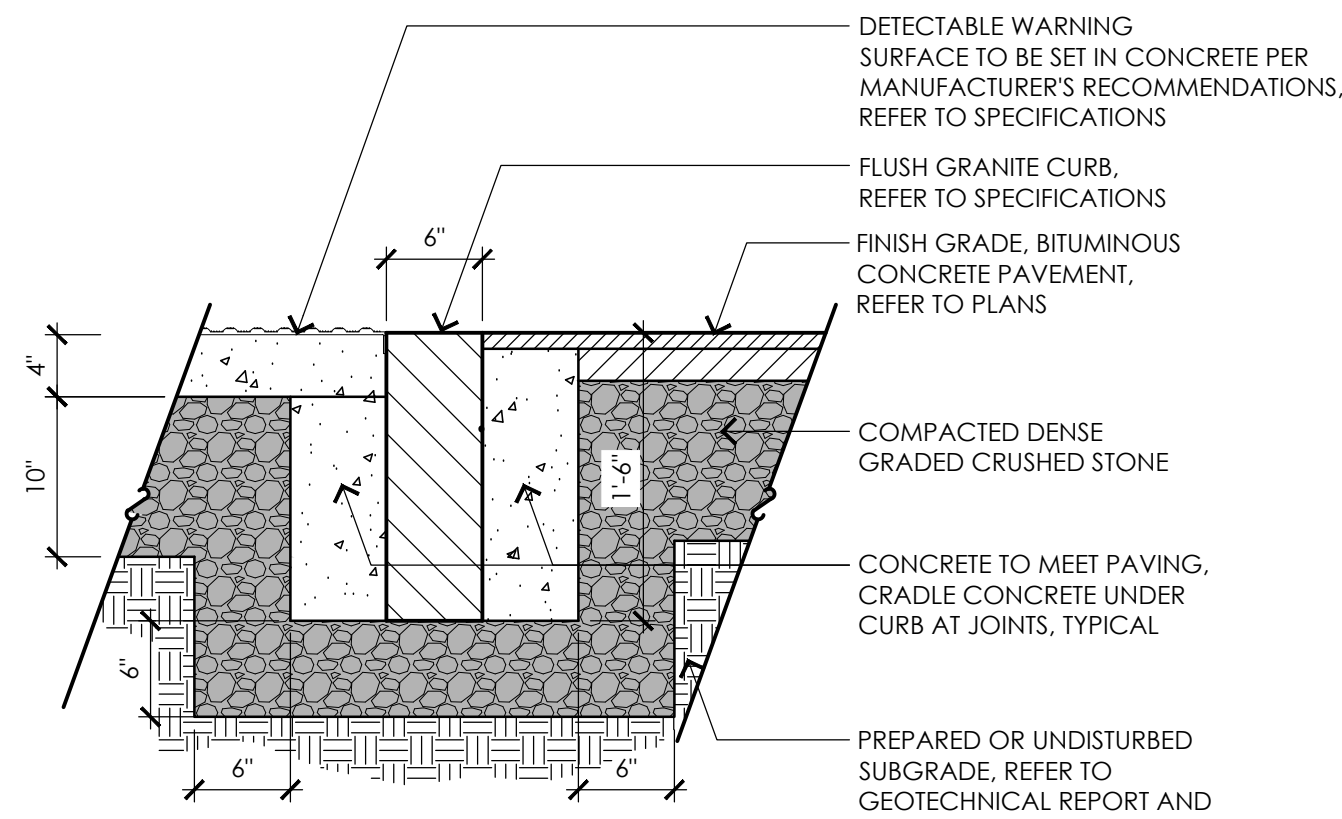
NOTICE OF INTENT
DESCRIPTION

AS NOTED SCALE AJA
DRAWN BY

3513 PROJECT # FILE NAME

DRAWING NUMBER

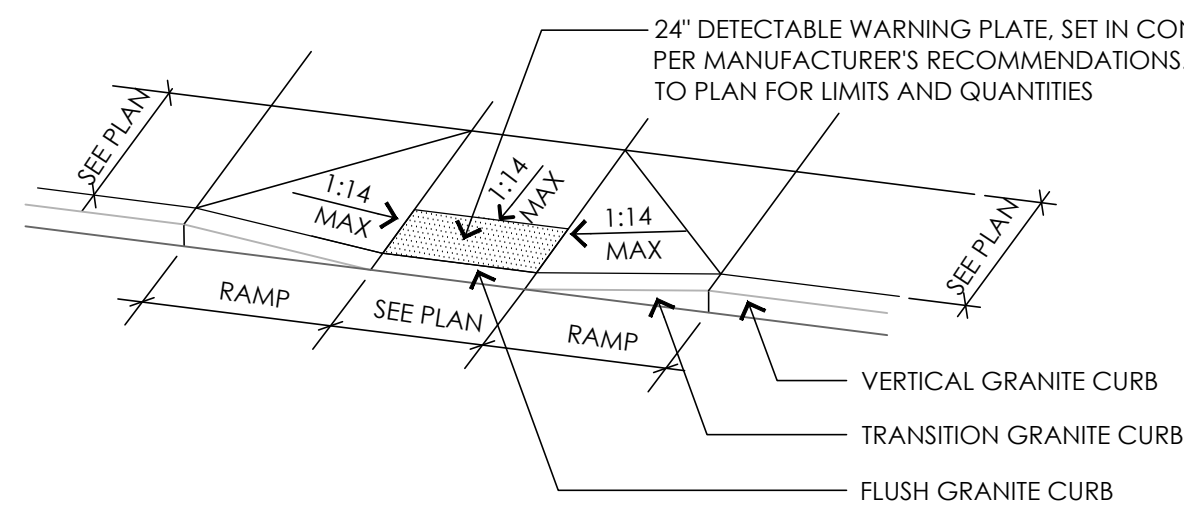
L502



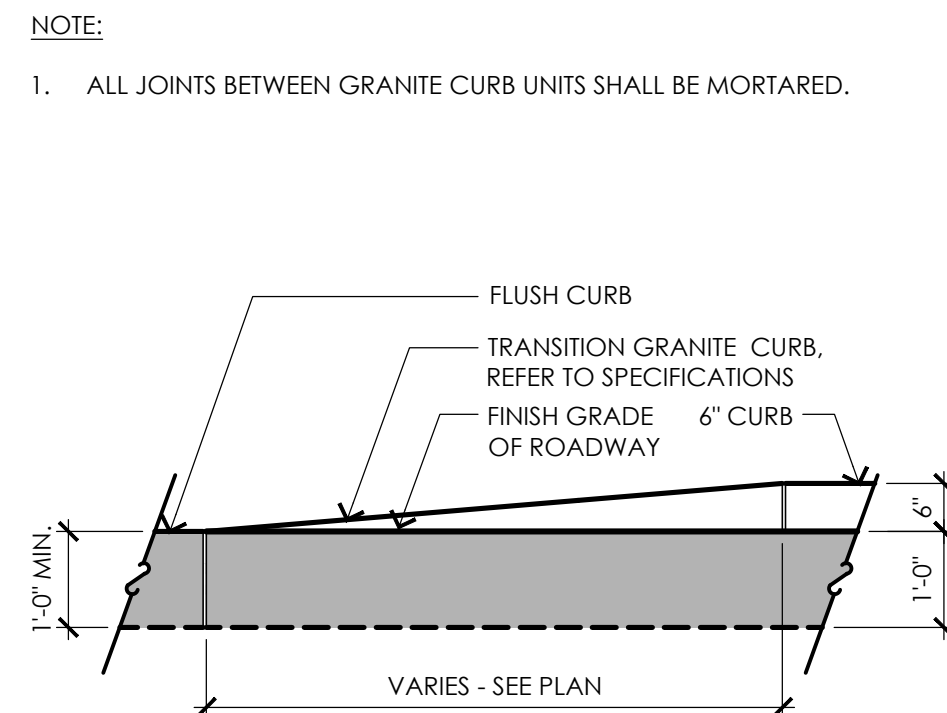
1 FLUSH GRANITE CURB WITH DETECABLE WARNING STRIP
NOT TO SCALE

NOTES:

- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
- DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
- PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF GRANITE CURB.
- PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
- MINIMUM WALK DIMENSIONS ARE FROM BACK OF GRANITE CURB.
- TRANSITION GRANITE CURB LENGTH AS REQUIRED TO MEET CODE.
- FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
- AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING GRANITE CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.



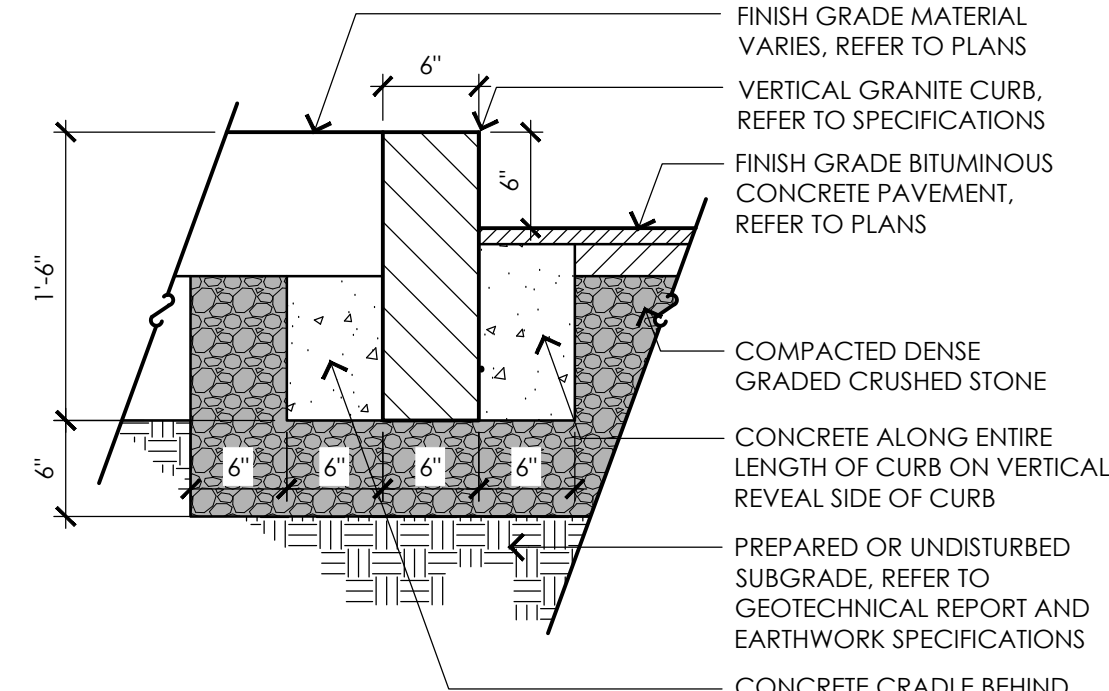
5 CURB CUTS
NOT TO SCALE



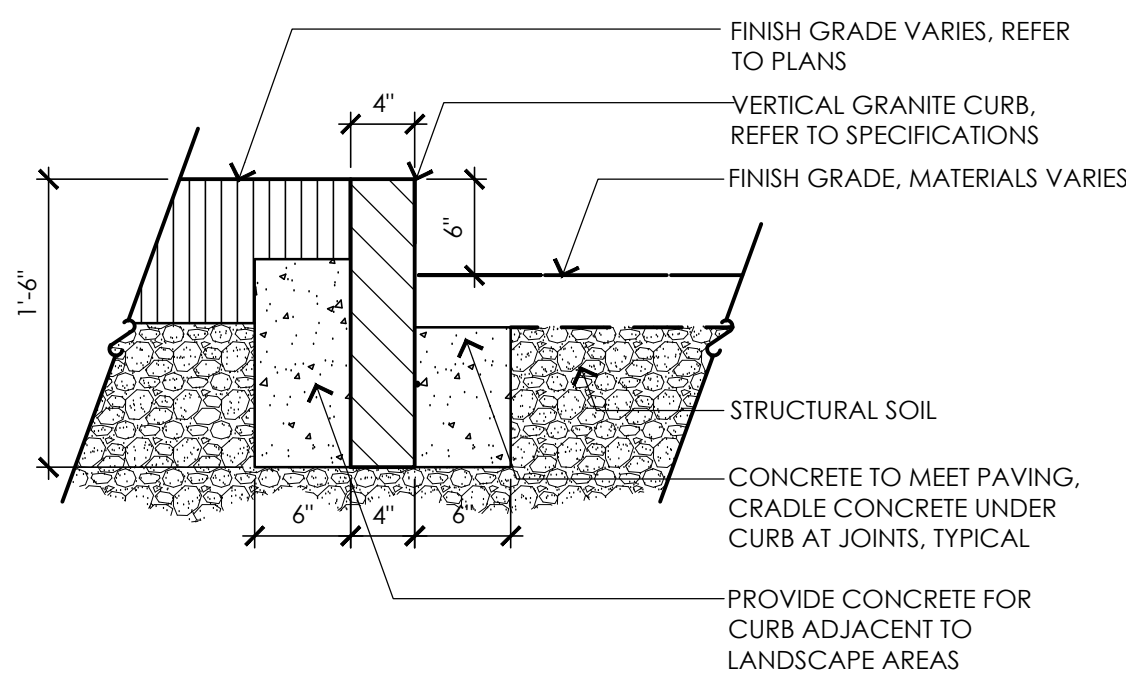
2 TRANSITION GRANITE CURB
NOT TO SCALE

NOTE:

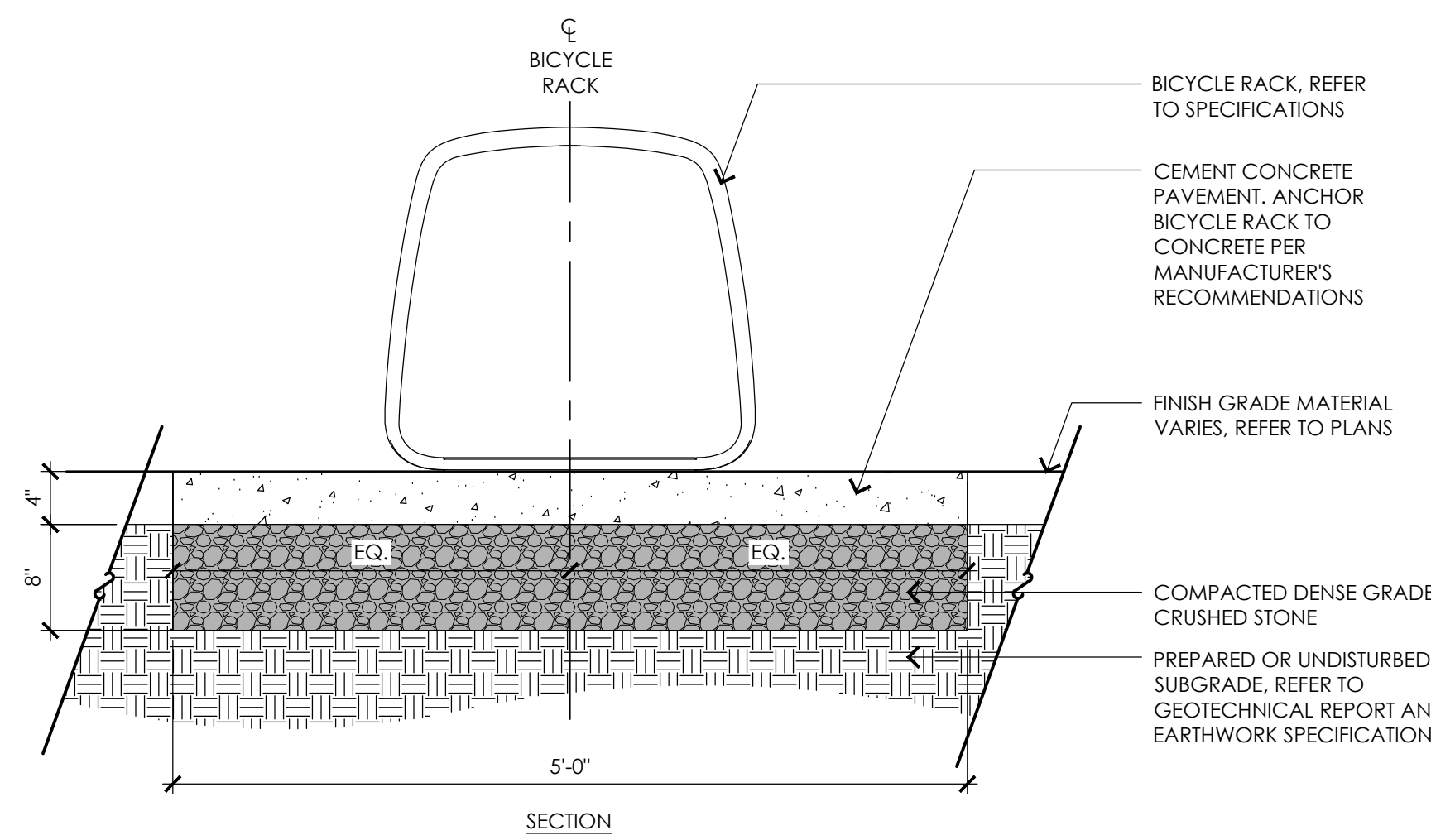
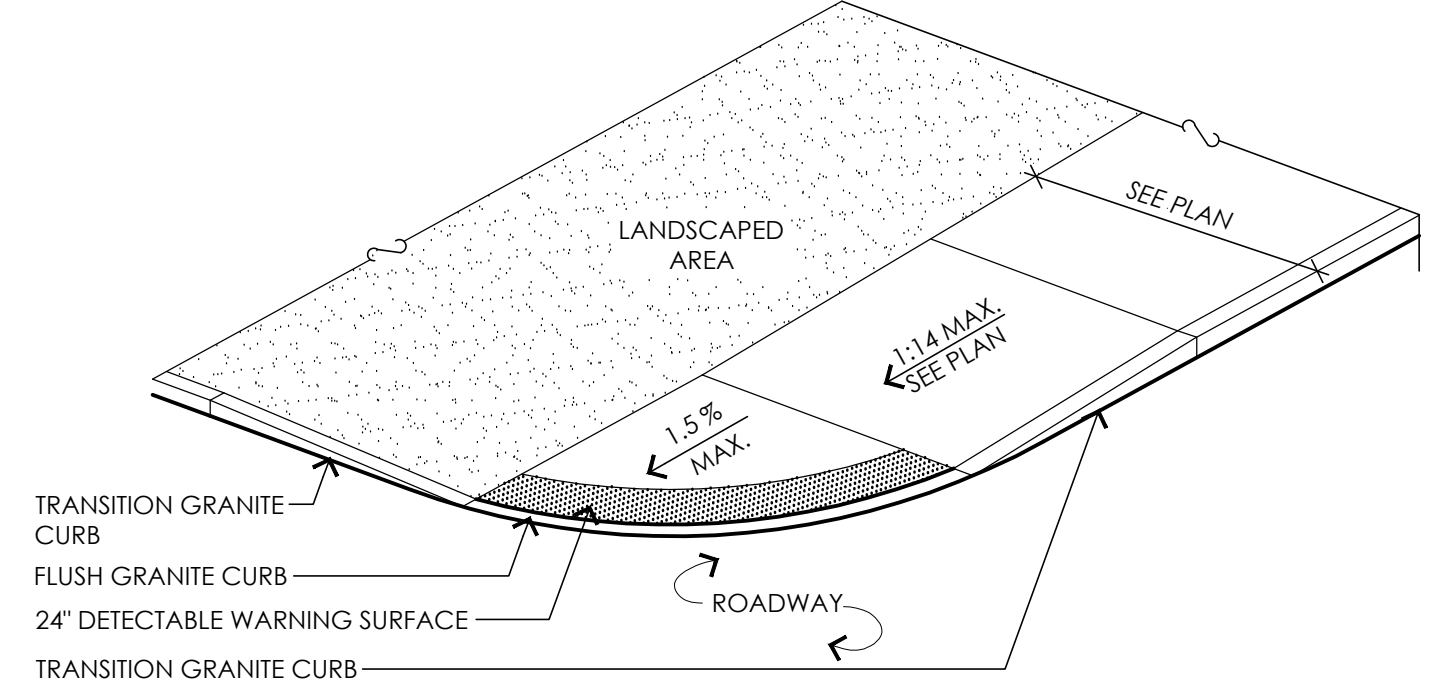
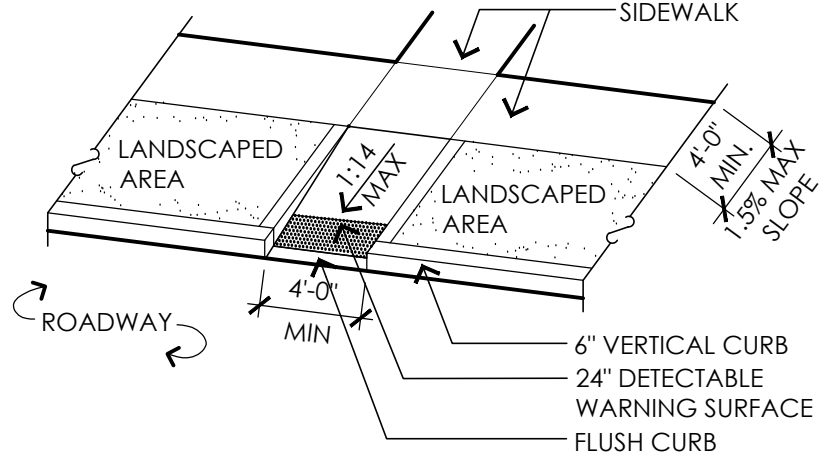
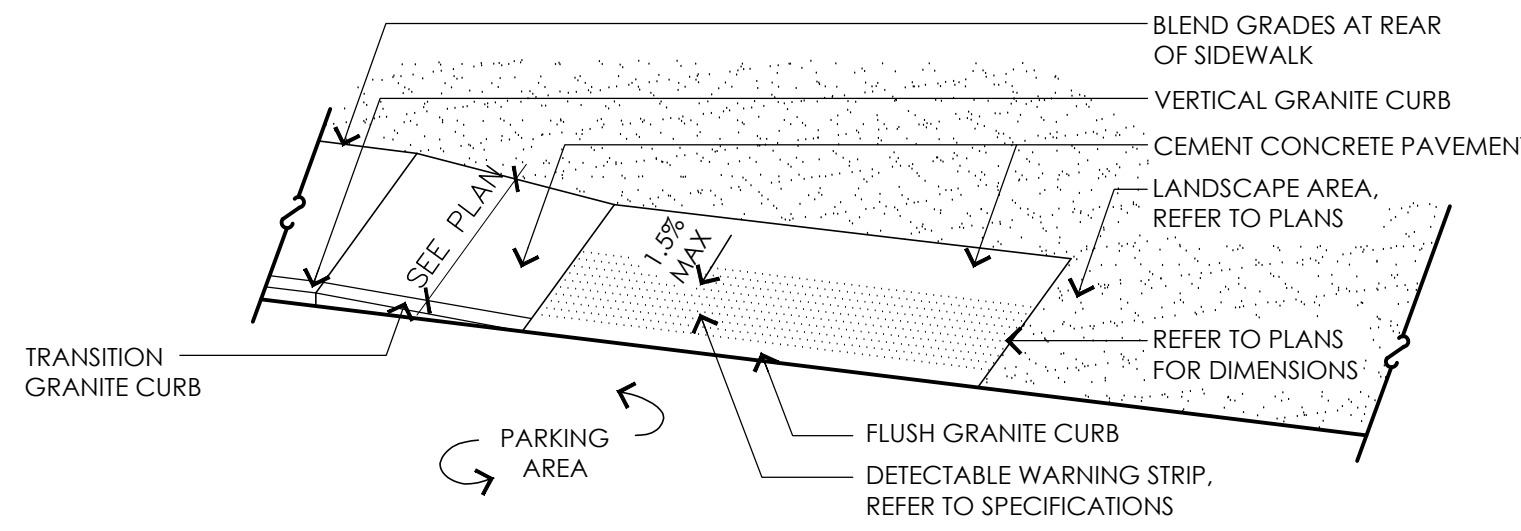
- ALL JOINTS BETWEEN GRANITE CURB UNITS SHALL BE MORTARED.



3 VERTICAL GRANITE CURB
NOT TO SCALE



4 4" WIDE LANDSCAPE GRANITE CURB
NOT TO SCALE



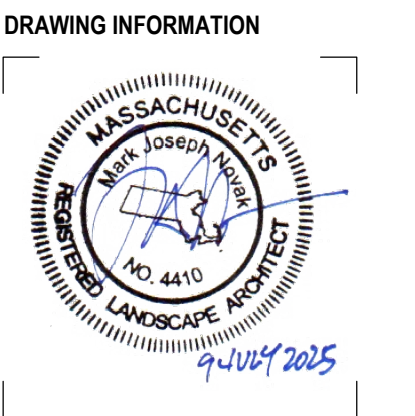
6 BIKE RACK
NOT TO SCALE

REVISIONS

| NO. | DATE | DESCRIPTION |
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DRAWING TITLE

Detail Sheet III

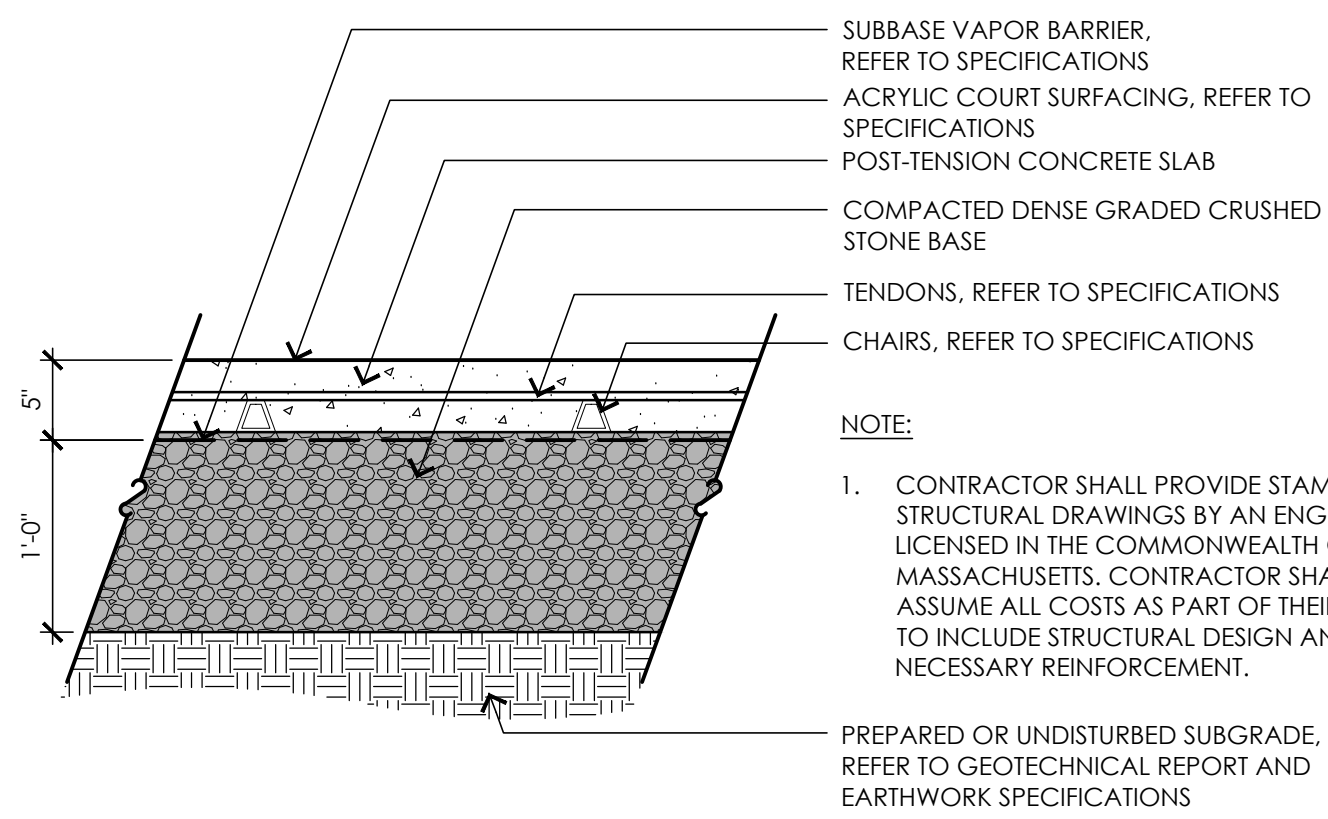


DRAWING INFORMATION

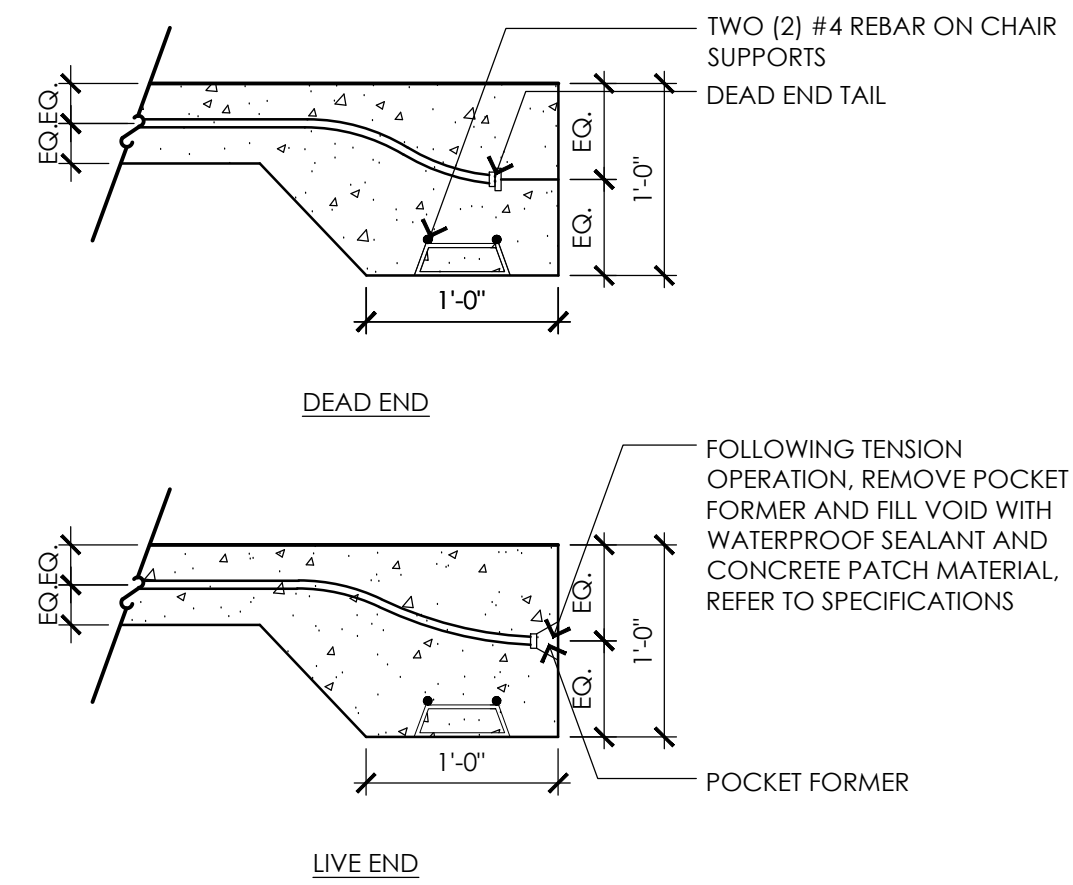
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| DATE OF ISSUE | 07/09/2025 |
| NOTICE OF INTENT DESCRIPTION | |
| AS NOTED | AJA |
| SCALE | DRAWN BY |
| 3513 PROJECT # | FILE NAME |

DRAWING NUMBER

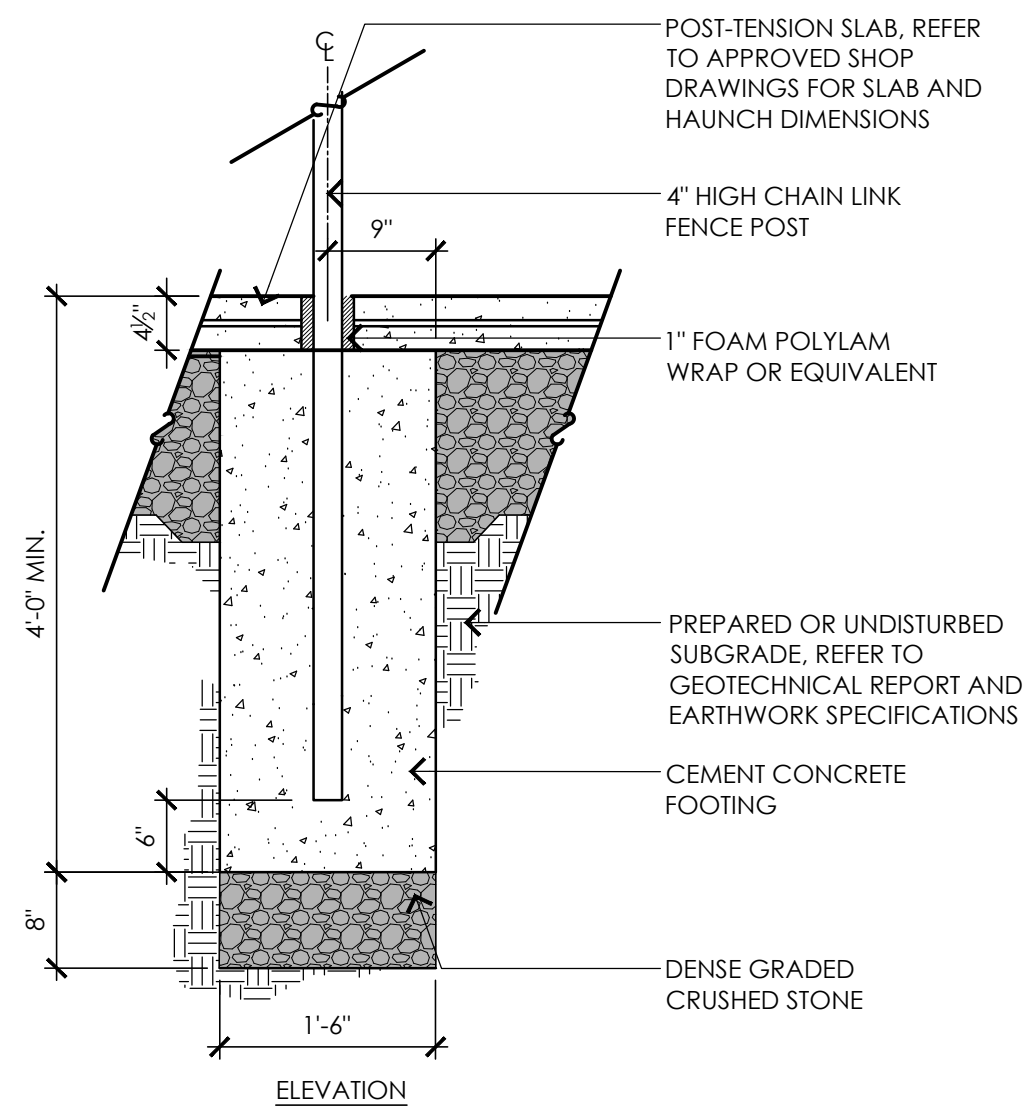
L503



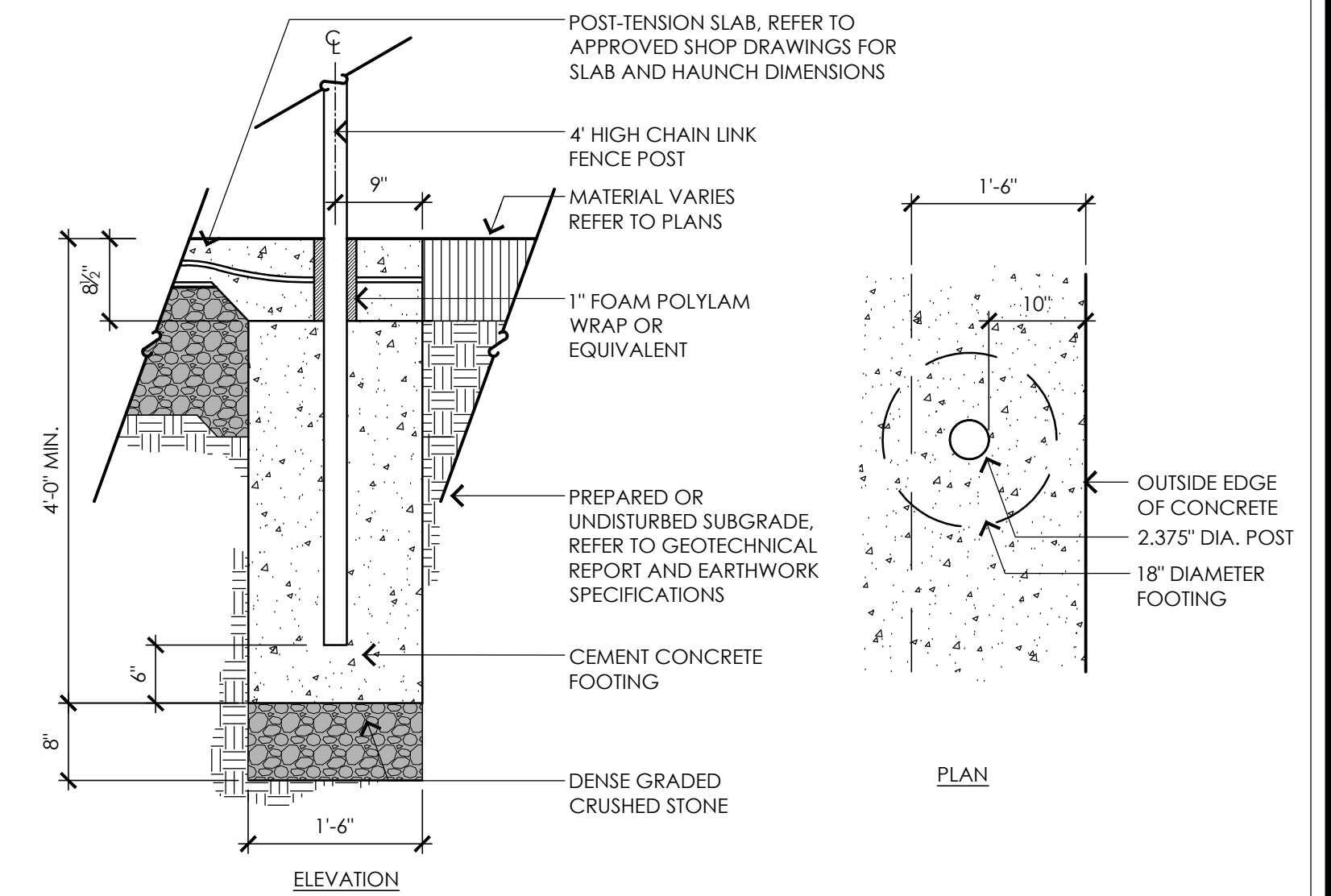
1 POST-TENSION CONCRETE PAVEMENT
 NOT TO SCALE



2 POST-TENSION CONCRETE EDGE
 NOT TO SCALE



3 4' HIGH CHAIN LINK DIVIDER FENCE
 NOT TO SCALE



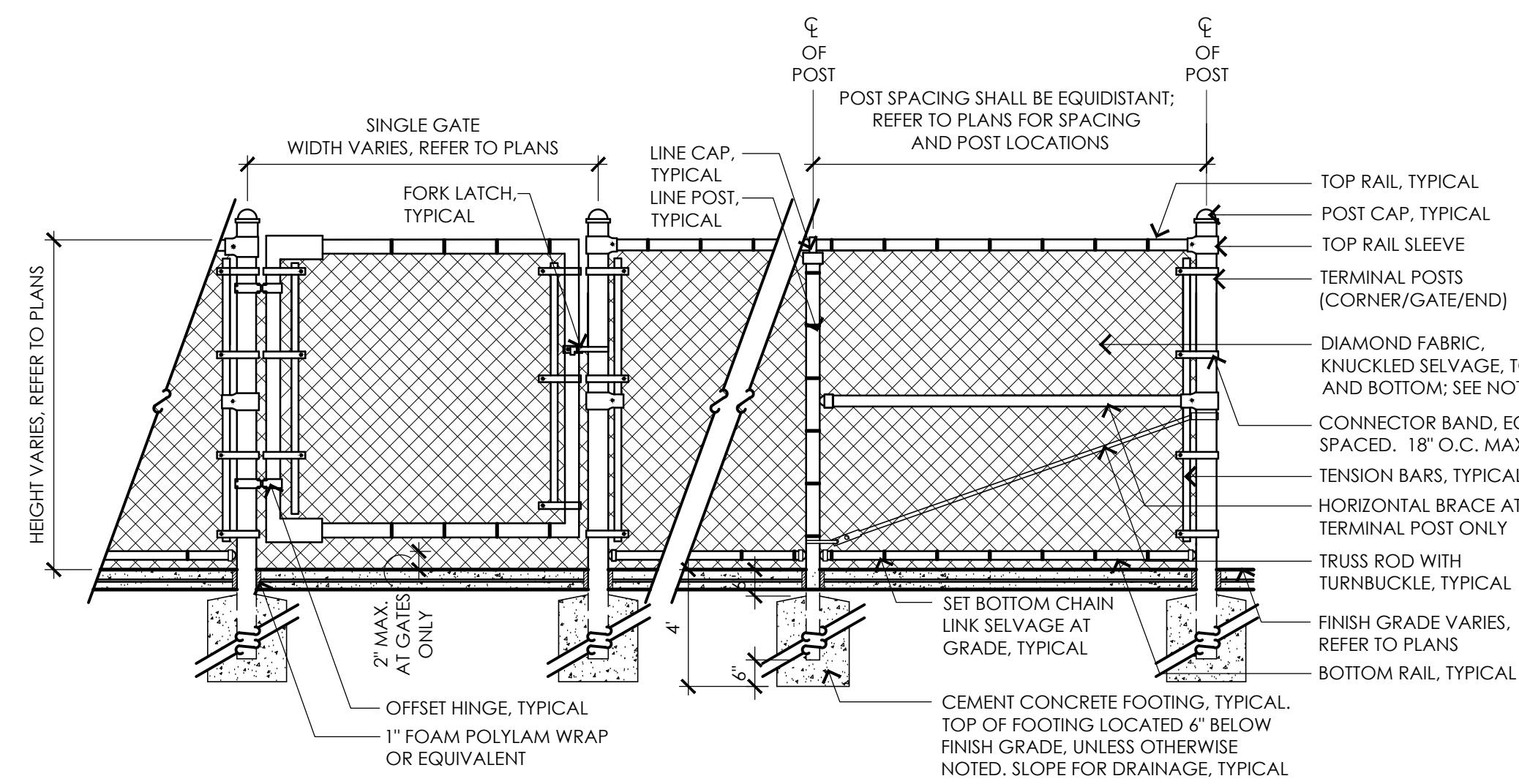
4 6' HIGH CHAIN LINK FENCE POST AT PERIMETER OF PICKLEBALL COURT
 NOT TO SCALE

- NOTES:
- FENCE FABRIC TOP SHALL BE EVEN WITH TOP OF TOP RAIL.
 - TOP OF CONCRETE FENCE POST FOOTING TO HAVE SLOPE TO PROMOTE POSITIVE DRAINAGE.
 - GATES SHALL SWING 180° DEGREES SO THAT WHEN FULLY OPEN GATE PANELS SHALL BE PARALLEL TO CHAIN LINK FENCE.
 - REFER TO SPECIFICATIONS FOR MATERIAL GAUGE.

CONCRETE FOOTING DEPTH X WIDTH

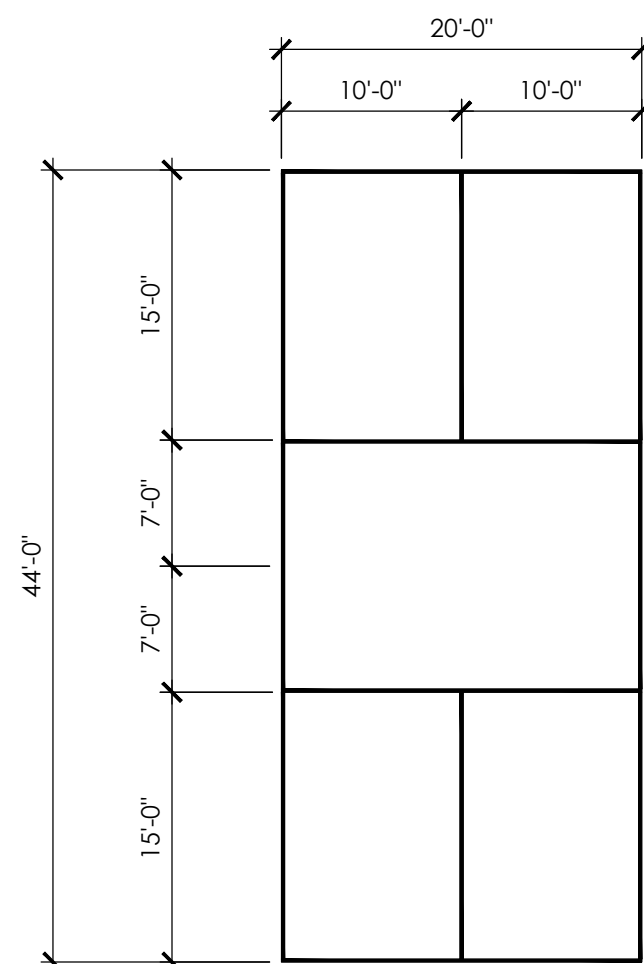
| H | 48"x18" | 48"x15" |
|----------|---------|---------|
| TERMINAL | | |
| LINE | | |

| | DIAMETER | |
|------------------|----------|-------|
| TERMINAL POSTS | 4'-0" | 6'-0" |
| LINE POSTS | 1.90 | 1.90 |
| TOP RAIL | 1.660 | 1.660 |
| BOTTOM RAIL | 1.660 | 1.660 |
| CENTER RAIL | N/A | N/A |
| HORIZONTAL BRACE | N/A | 1.660 |
| TRUSS ROD | N/A | 1/2" |

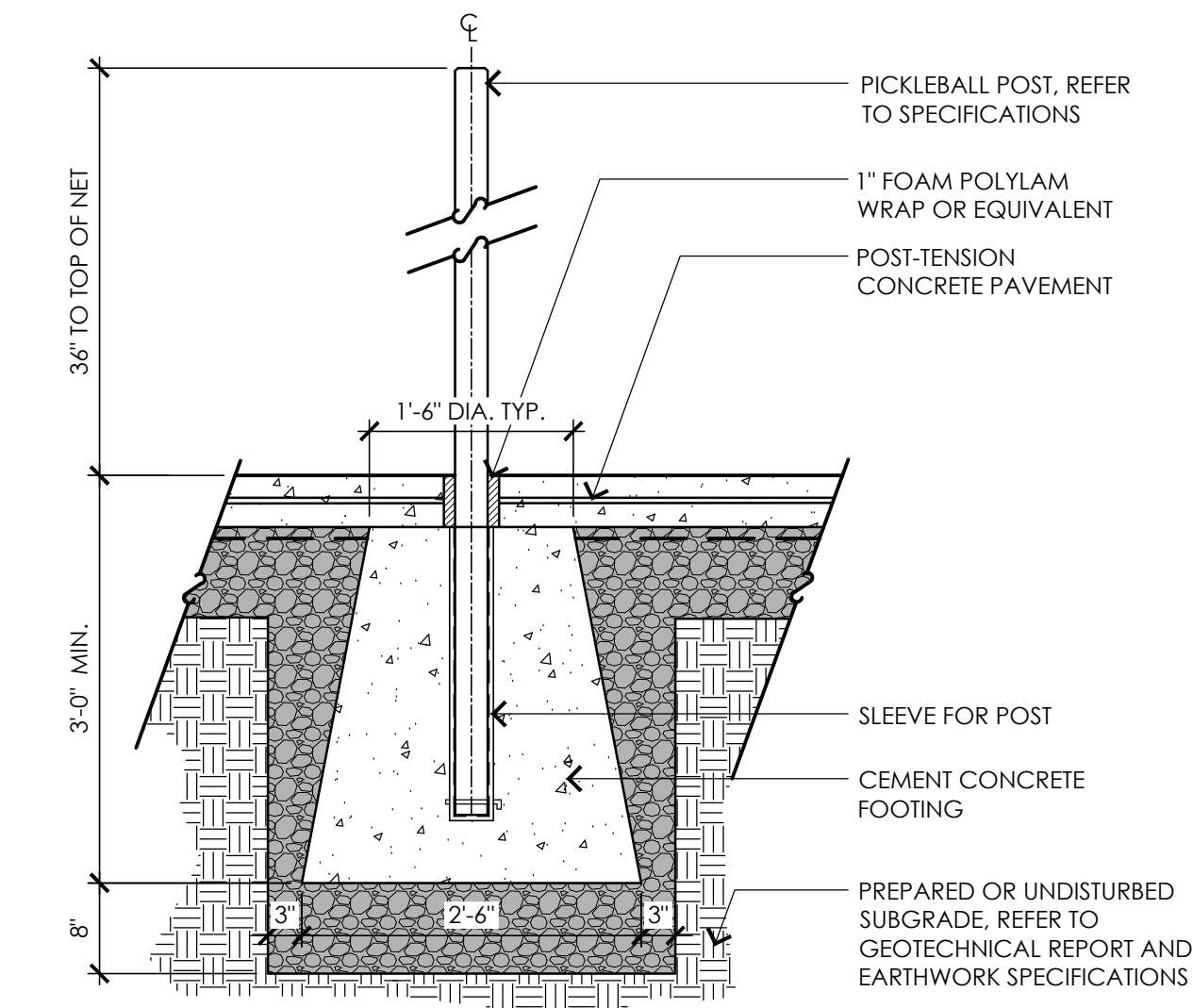


5 CHAIN LINK FENCE AND GATES
 NOT TO SCALE

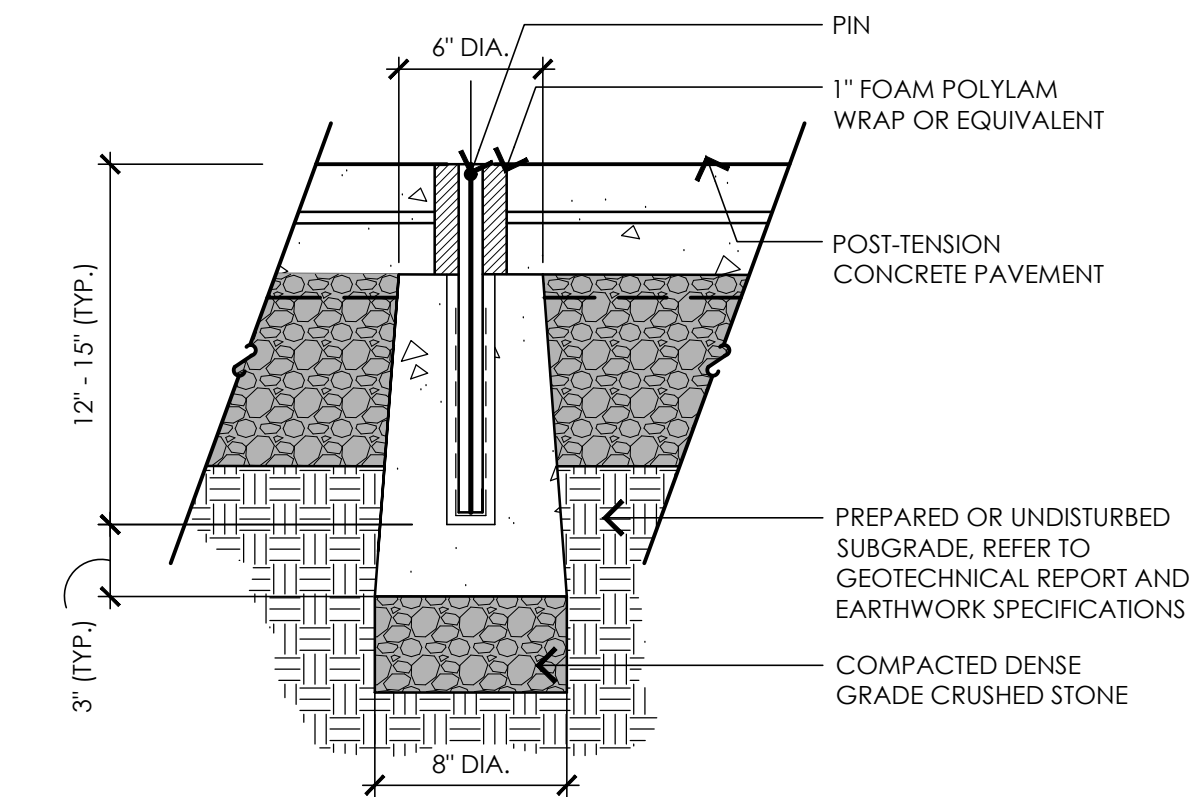
- NOTES:
- LINES SHALL BE 2" WIDE. COLOR TO BE SELECTED BY OWNER.
 - MEASUREMENTS TAKEN FROM OUTSIDE TO OUTSIDE WITH EXCEPTION OF CENTER LINES WHICH ARE OUTSIDE TO CENTER.
 - REFER TO SPECIFICATIONS FOR COURT COLORING REQUIREMENTS.



8 PICKLEBALL COURT STRIPING LAYOUT
 NOT TO SCALE



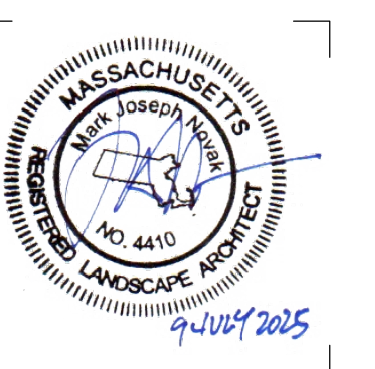
6 PICKLEBALL NET POST
 NOT TO SCALE

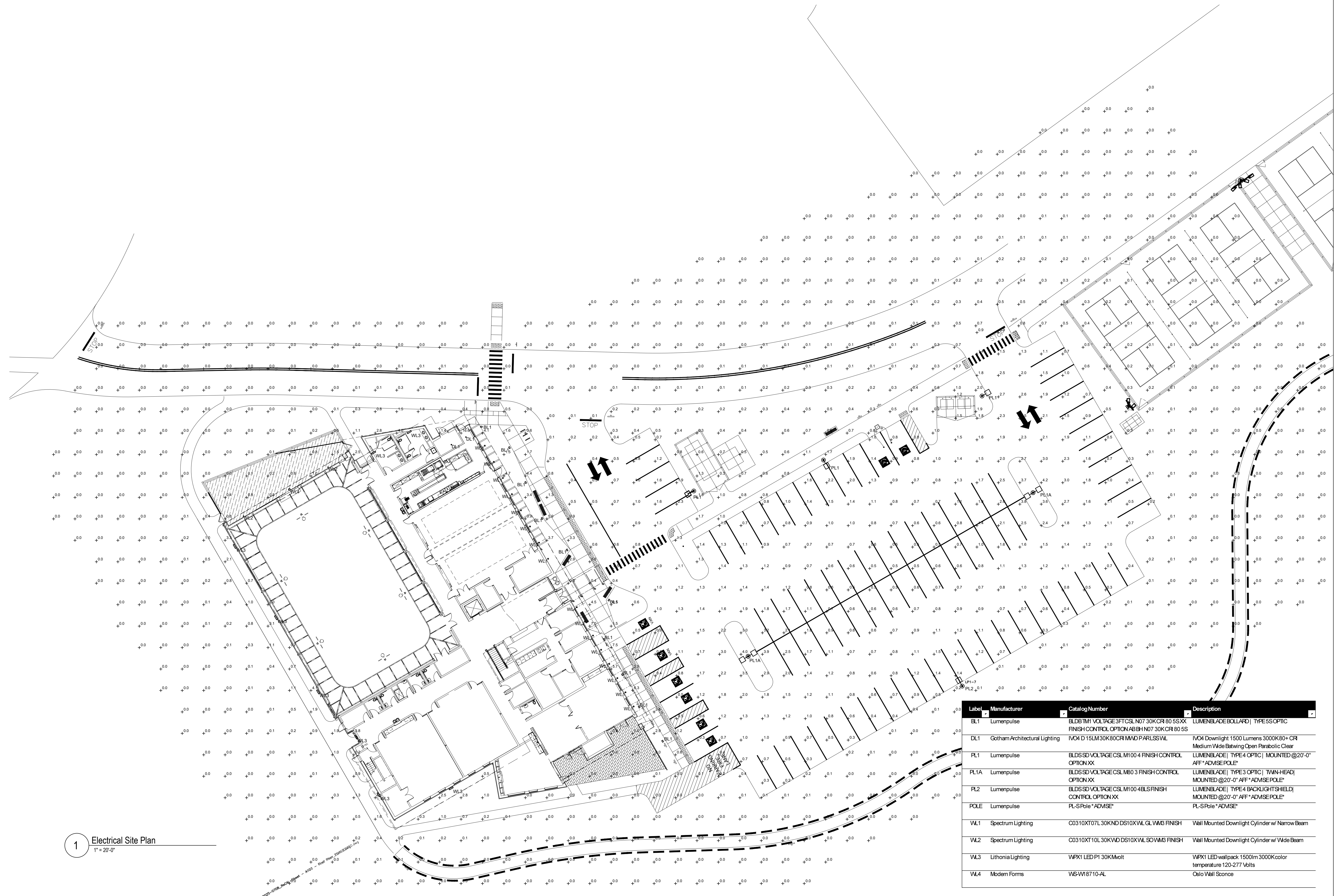
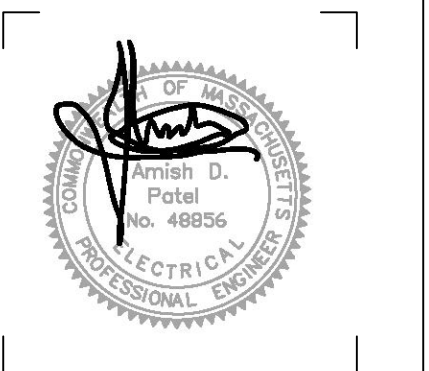


7 PICKLEBALL CENTER STRAP ANCHOR
 NOT TO SCALE

NOTICE OF INTENT PERMITTING SET ONLY - NOT FOR CONSTRUCTION

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| Label | Manufacturer | Catalog Number | Description |
|-------|-------------------------------|--|---|
| BL1 | Lumenpulse | BLDBTM1 VOLTAGE 3FTCSL N07 30KCR 80 SSXX FINISH CONTROL OPTION ABBH N07 30K CR 80 SS | LUMENBLADE(BOLLARD) TYPE 5S OPTIC |
| DL1 | Gotham Architectural Lighting | IV04 D 15LM30K80CR MWD PARLSSVWL | IV04 Downlight 1500 Lumens 3000K80+ CR Medium Wide Batwing Open Parabolic Clear |
| PL1 | Lumenpulse | BLDSD VOLTAGE CSLM100 4 FINISH CONTROL OPTION XX | LUMENBLADE TYPE 4 OPTIC MOUNTED @20'-0" AFF *ADMSE POLE* |
| PL1A | Lumenpulse | BLDSD VOLTAGE CSLM80 3 FINISH CONTROL OPTION XX | LUMENBLADE TYPE 3 OPTIC TWIN-HEAD MOUNTED @20'-0" AFF *ADMSE POLE* |
| PL2 | Lumenpulse | BLDSD VOLTAGE CSLM100 4BL FINISH CONTROL OPTION XX | LUMENBLADE TYPE 4 BACKLIGHT SHIELD MOUNTED @20'-0" AFF *ADMSE POLE* |
| POLE | Lumenpulse | PL-S Pole *ADMSE* | PL-S Pole *ADMSE* |
| WL1 | Spectrum Lighting | C0310XT07L30KND D510XVW GL W3 FINISH | Wall Mounted Downlight Cylinder w/ Narrow Beam |
| WL2 | Spectrum Lighting | C0310XT10L30KND D510XVW SD W3 FINISH | Wall Mounted Downlight Cylinder w/ Wide Beam |
| WL3 | Lithonia Lighting | WFX1 LED P1 30KMolt | WFX1 LED wallpack 1500m 3000K color temperature 120-277 Volts |
| WL4 | Modern Forms | WS-W18710-AL | Oslo Wall Sconce |

1 Electrical Site Plan
 1" = 20'-0"

CONTACT DIGSAFE:
 UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

DESIGN DEVELOPMENT SET ONLY - NOT FOR CONSTRUCTION

Z:\Shared\Projects (Low)\2024 (64xxx)\64310-19\64310-E001.dwg PLOTTED: Aug 13, 2025 - 2:22pm

| LEGEND | |
|--------|--|
| UE | ELECTRICAL POWER CONDUITS WITH PULLSTRINGS, 36" BELOW GRADE (24" FOR LIGHTING CIRCUITS), SIZE AS SHOWN ON PLANS. PRIMARY FEEDERS (WIRES) BY UTILITY (INCLUDE COST IN BID PRICES). SECONDARY FEEDERS SIZED FOR POWER RISKER TELECOMMUNICATIONS CONDUIT WITH PULL STRING, 24" BELOW GRADE. TELECOMMUNICATIONS SERVICE BY VERIZON/COMCAST (INCLUDE COST IN BID PRICES). |
| UT | |

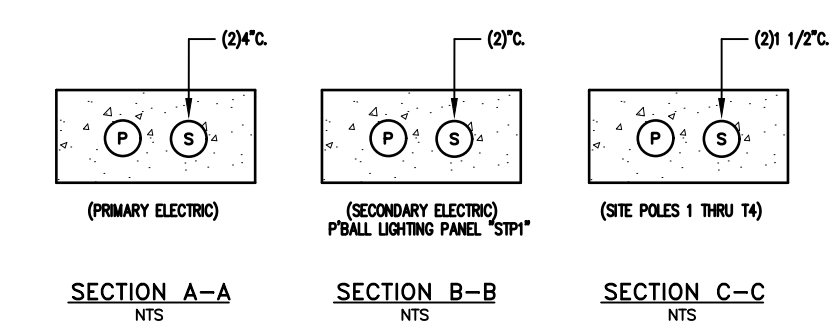
INCLUDE WARNING TAPE (12" BELOW FINISHED GRADE) ABOVE ALL UNDERGROUND FEEDS:
 RED "DANGER - HIGH VOLTAGE" METALLIC WARNING TAPE FOR POWER
 YELLOW METALLIC WARNING TAPE TO READ "WARNING - BURIED TELECOMM. CABLE" FOR TELECOMM.

GENERAL NOTES:

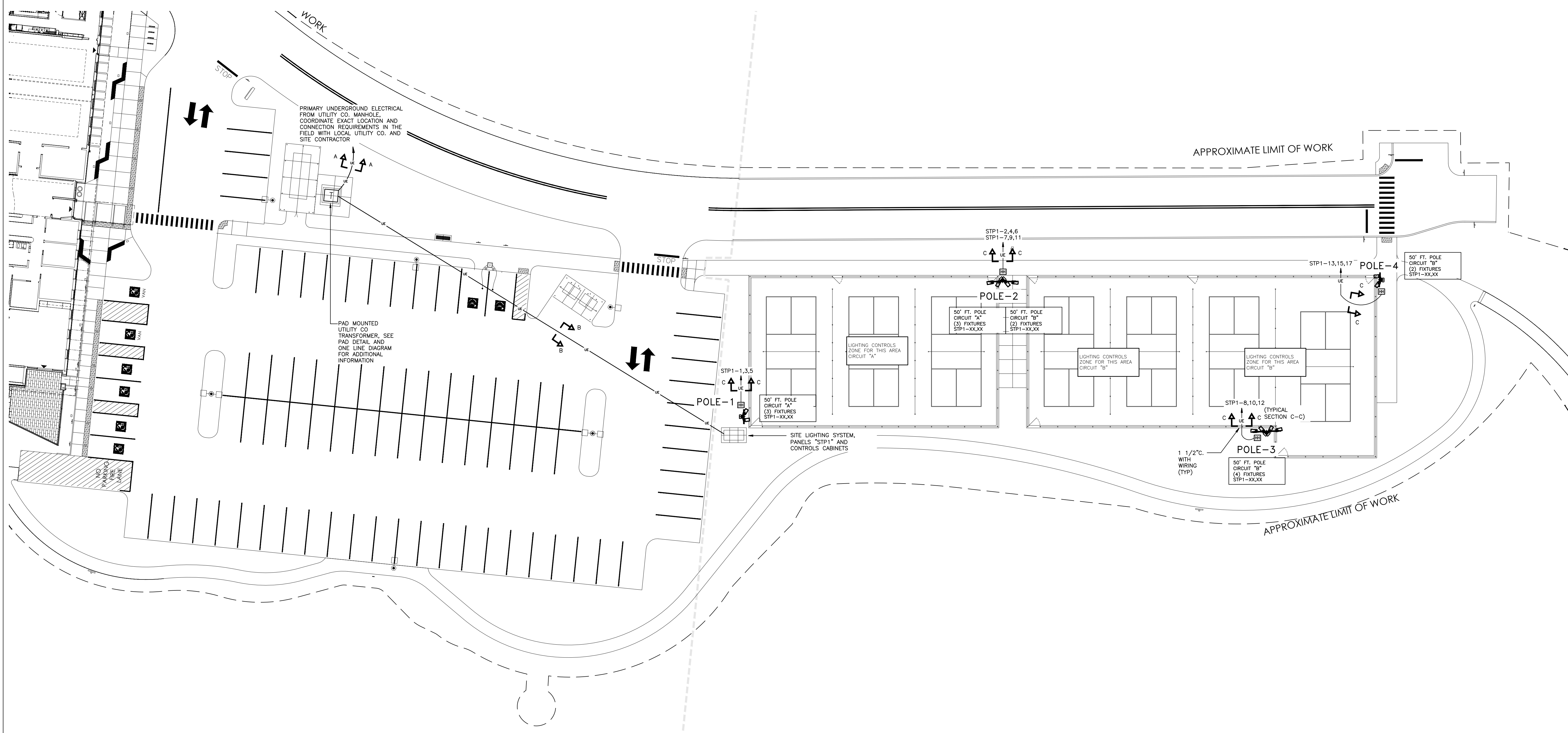
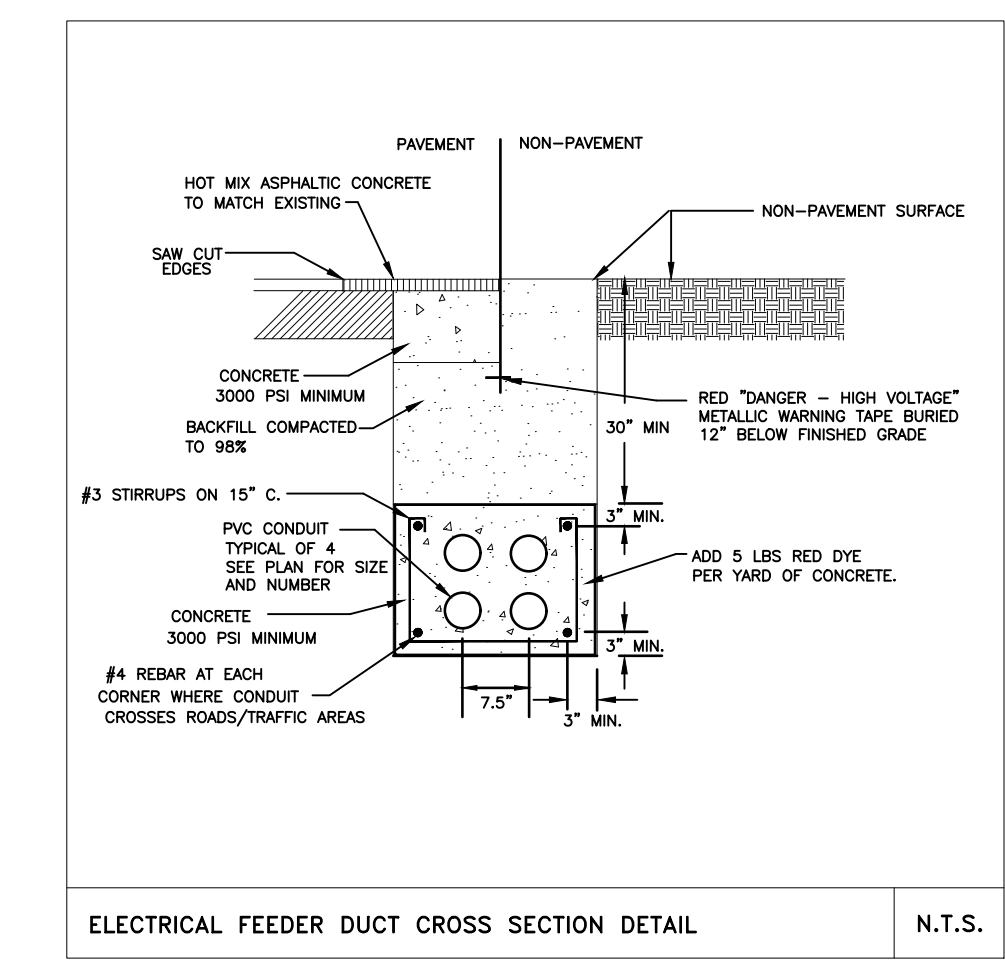
1. THE ELECTRICAL CONTRACTOR IS TO COORDINATE THE LOCATION OF ALL UNDERGROUND UTILITIES WITH THE CIVIL PLANS AND IN THE FIELD. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OF EXISTING WORK DURING TRENCHING/EXCAVATION PERFORMED FOR THE WORK SHOWN ON THIS PLAN.
2. ALL EXTERIOR CONTRACTOR SUPPLIED EQUIPMENT IS TO BE NEMA-4X AND CONCEALED APPROPRIATELY.

ALL LIGHT POLE BASES TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR IN COORDINATION WITH THE ELECTRICAL CONTRACTOR.
 ALL DUCT-BANKS TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR IN COORDINATION WITH THE ELECTRICAL CONTRACTOR. CONDUITS/FITTINGS BY ELECTRICAL CONTRACTOR.

ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS AND WIRING EXTENDING FROM TRANSFORMER TO ELECTRICAL CABINET. PATHWAYS SHALL BE CONFIRMED WITH BOTH ARCHITECT AND UTILITY. EC SHALL TAKE BEST ROUTE TO AVOID FOOTINGS AND OTHER SYSTEMS. CONDUIT SHALL BE CAPPED. CONFIRM ALL REQUIREMENTS WITH POWER COMPANY REPRESENTATIVE PRIOR TO ROUGH-IN.



- DUCTBANK NOTES:**
1. SEE TYPICAL DUCTBANK DETAILS AND NOTES FOR TYPICAL LAYOUTS, DIMENSIONS AND ADDITIONAL INSTALLATION REQUIREMENTS.
 2. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH PULLSTRING CAPPED.
 3. PROVIDE 4" COMPACTED SAND ALL AROUND CONDUIT WHERE BELOW ROADWAYS OR PARKING PROVIDE TYPICAL CONCRETE ENCASUREMENT.
 4. SITE LIGHTING CONDUITS SHALL BE LOCATED 24" BELOW GRADE.
 5. ALL BURIED CONDUITS SHALL HAVE WARNING TAPE ENTIRE LENGTHS.
- LEGEND:**
- (P) POWER
 - (S) SPARE
 - (C) CONTROLS



CONTACT DIGSAFE: UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND/OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

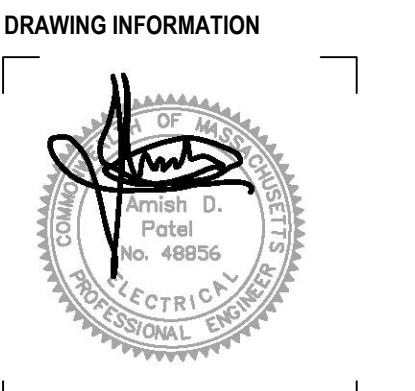
DESIGN DEVELOPMENT SET ONLY - NOT FOR CONSTRUCTION

- PROJECT TEAM**
- Civil and Landscape Engineer**
 Activitas
 70 Milton Street
 Dedham, MA 02026
 (781) 326-2600
 - Structural Engineer**
 Foley Buhl Roberts & Associates, Inc.
 2227 Washington Street
 Newton, MA 02462
 (617) 527-9600
 - MEPFP Engineer**
 Allied Consulting Engineering
 270 Littleton Road, Suite 11
 Westford, MA 01886
 (978) 443-7888
 - AV / IT / Security**
 Building Technology Consulting
 992 Bedford St.
 Bridgewater, MA 02324
 (617) 799-4309
 - Food Service**
 Colburn Guyette
 100 Ledgewood Pl #104
 Rockland, MA 02370
 (781) 826-5522
 - Wetland Scientist**
 Epsilon Associates, Inc.
 3 Mill and Main Place, Suite 250
 Maynard, MA 01754
 (978) 897-7100

REVISIONS

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DRAWING TITLE
ELECTRICAL SITE PLAN



DRAWING INFORMATION

07/07/2025
 DATE OF ISSUE

SITE PLAN REVIEW
 DESCRIPTION

1"=20' 0" AP
 SCALE DRAWN BY

64282 FILE NAME
 PROJECT # 64282-E002.dwg

DRAWING NUMBER

E002

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