

GENERAL NOTES:

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, EXISTING AND PROPOSED SITE FEATURES WERE OBTAINED FROM PLANS ENTITLED "PROPOSED PLOT PLAN 555 WEST STREET READING, MA 01867" PREPARED BY LAND MAPPING, INC. DATED APRIL 08, 2024.
2. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
5. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITIES COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND QUETTI DESIGN LLC. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE DONE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE APPROPRIATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS, AND SIDE DETAILS OUTSIDE OF THE LIMITS OF WORKS AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DETECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
8. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
10. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
12. THE BUILDING LOCATION INFORMATION SHOWN ON THE PLAN PROVIDES THE POSITION AND ORIENTATION OF THE BUILDING. REFER TO THE STAMPED PLOT PLAN, AND THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS FOR BUILDING AND FOUNDATION DIMENSIONS, INCLUDING BUILDING OVERHANGS AND AREAWAYS. THE CONTRACTOR SHALL VERIFY BUILDING AND FOUNDATION DIMENSIONS WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO FOUNDATION CONSTRUCTION.
13. CONTRACTOR TO COORDINATE WITH THE TOWN FOR PERMITTING. THESE PLANS DO NOT CONSTITUTE A PERMIT.

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENT CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORSEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL COST TO THE OWNER.
3. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF THE PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OF CONSTRUCTION OPERATIONS.
4. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
5. AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES PER RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
6. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTIES, OR OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACE DURING THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALES, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MINIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
9. ALL STOCK PILES SHALL BE PROTECTED AND LOCATED WITHIN THE LIMIT OF WORK.
10. ANY SEDIMENT TRACKED ONTO PAVING AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL SEDIMENT REMOVED BY EROSION CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFF-SITE.
12. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUDED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
13. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
14. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

555 WEST STREET READING, MASSACHUSETTS

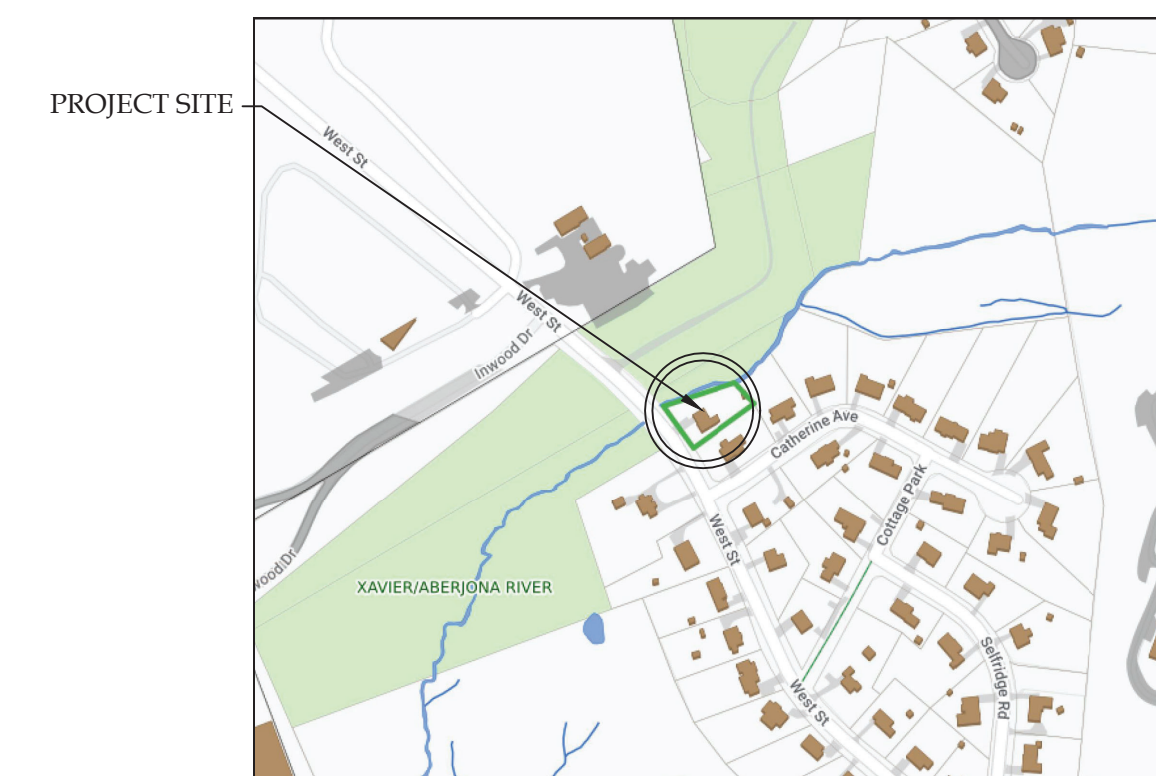
PROPOSED SITE PLAN SET FOR SINGLE-FAMILY RENOVATION/ ADDITION



EXISTING BUILDING
SOURCE: TOWN ASSESSOR'S DATABASE
REFER TO ARCHITECTURAL PLANS FOR PROPOSED DESIGN

SHEET LIST

- C-1: TITLE SHEET & GENERAL NOTES
- C-2: SITE PREPARATION PLAN
- C-3: SITE PLAN
- C-4: CIVIL DETAILS



LOCUS MAP

NOT TO SCALE
SOURCE: TOWN GIS

UTILITY NOTES:

1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVICING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.
6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET OF COVER FROM THE FINAL DESIGN GRADES.
8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN, BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10-FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED AND DISPOSED OF.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR ANY GAS UTILITY SYSTEMS.
11. ALL ONSITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.

EARTH MOVING AND GRADING NOTES:

1. ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER. TOPSOIL PILES SHALL REMAIN SEPARATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
2. CROSS SLOPES OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 1.5%.
3. RUNNING SLOPE OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 4.5%, UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL EXERCISE CAUTION IN ALL EXCAVATION ACTIVITY DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
5. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
7. PITCH EVENLY BETWEEN CONTOUR LINES AND BETWEEN SPOT GRADES. SPOT GRADE ELEVATIONS TAKE PRECEDENCE OVER CONTOUR LINES.
8. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL BLEND NEW GRADING SMOOTHLY INTO EXISTING GRADING AT LIMITS OF GRADING.
10. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING PAVING WITH SMOOTH TRANSITION BETWEEN EXISTING AND NEW SURFACES.
11. SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS DETECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. REFER TO EARTHWORK SPECIFICATIONS.
12. ANY AREAS OUTSIDE OF THE LIMIT ARE WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THE PRE-CONSTRUCTION CONDITION/GRADE AT NO COST TO THE OWNER.
13. EXCAVATION INCLUDED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.



ENGINEERING &
LAND PLANNING

PHONE: 413-281-6615
711 EAST BROADWAY
BOSTON, MA 02127

TITLE SHEET & GENERAL NOTES
555 WEST STREET, READING, MA

PREPARED FOR:
KAUSHAL PATEL
555 WEST STREET, READING, MA 01867

STAMP



NO.	DATE	REVISION
1	7/24/2024	CONSERVATION SUBMISSION

NO.	DATE	REVISION

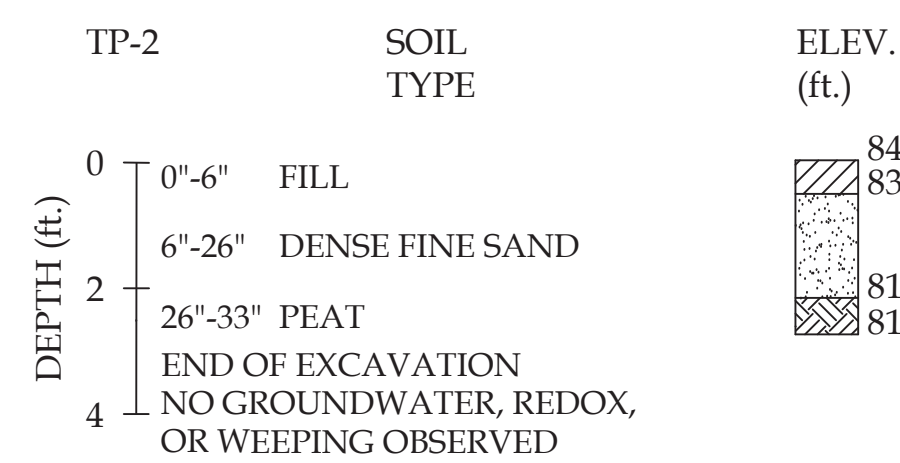
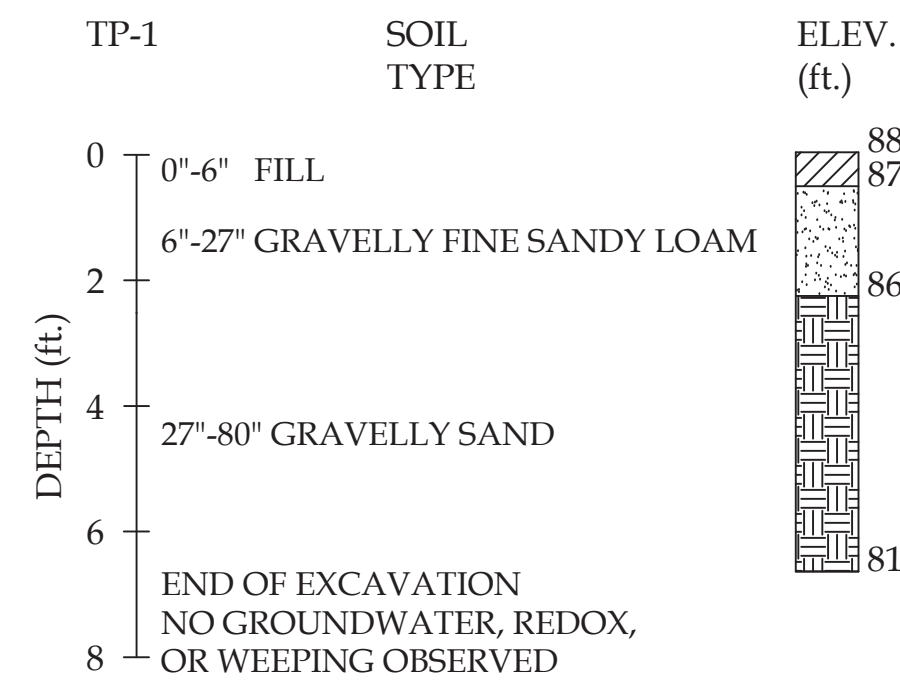
DRAWN BY: OFY
CHECKED BY: KAQ
PROJECT #: 365
DATE: 7/24/2024
SCALE: SEE PLAN

SHEET:
C-1



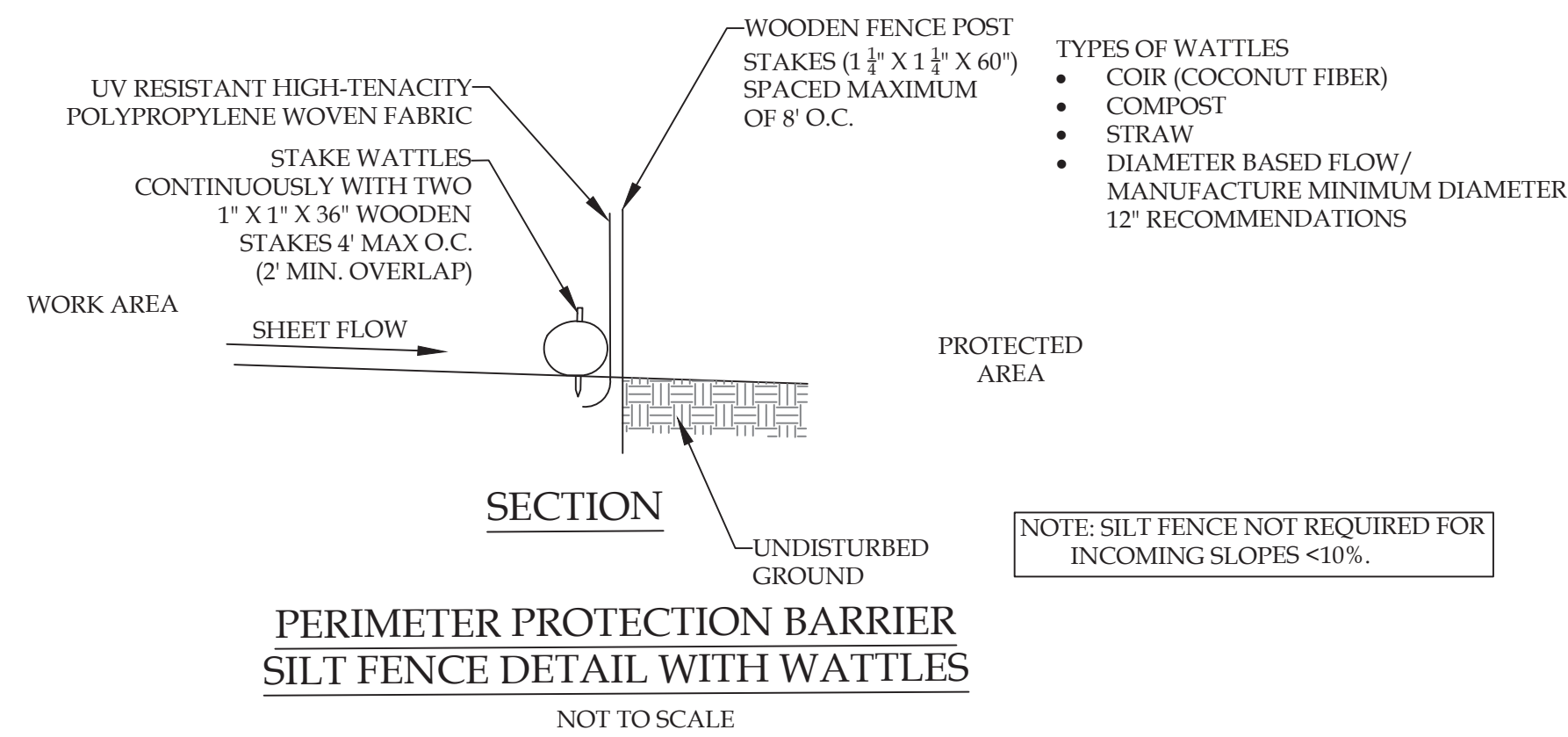
GENERAL NOTES:

- REFER TO ADDITIONAL NOTES ON SHEET C-1 AND PROPOSED SITE PLAN ON SHEET C-3.
- REFER TO PLANS PREPARED BY LAND MAPPING, INC. FOR EXISTING AND PROPOSED SETBACKS.
- ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BUFFERS PRESENTED HEREON WERE APPROXIMATED BY OTHERS.
- FLOODPLAIN INFORMATION WAS OBTAINED BY LAND MAPPING FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 25017C0294F. THE SITE IS PARTIALLY LOCATED IN THE FLOOD ZONE.
- CONTRACTOR TO COORDINATE WITH THE OWN FOR PERMITTING. THIS PLAN DOES NOT CONSTITUTE A PERMIT.
- IF CONDITIONS DO NOT MATCH INFORMATION (EX. LEDGE, GW ELEVATIONS, SURVEY DISCREPANCIES, ETC.) CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL OBTAIN APPROVAL, FROM THE ENGINEER, ANY DEVIATIONS TO THIS PLAN.
- THIS PLAN MAY NOT SHOW UTILITIES THAT NEED TO BE TERMINATED PRIOR TO DEMOLISHING THE STRUCTURE(S) SUCH AS GAS, ELECTRIC, COMMUNICATIONS AND OTHERS. CONTRACTOR TO VERIFY ALL UTILITIES HAVE BEEN TERMINATED IN ACCORDANCE WITH EACH UTILITY PROVIDERS STANDARDS PRIOR TO DEMOLISHING THE STRUCTURE(S).
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNERS REPRESENTATION IMMEDIATELY.
- TREE INFORMATION PRESENTED HEREON IS BASED ON DIRECTION PROVIDED BY OTHERS.

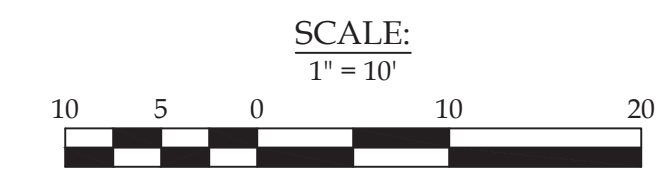
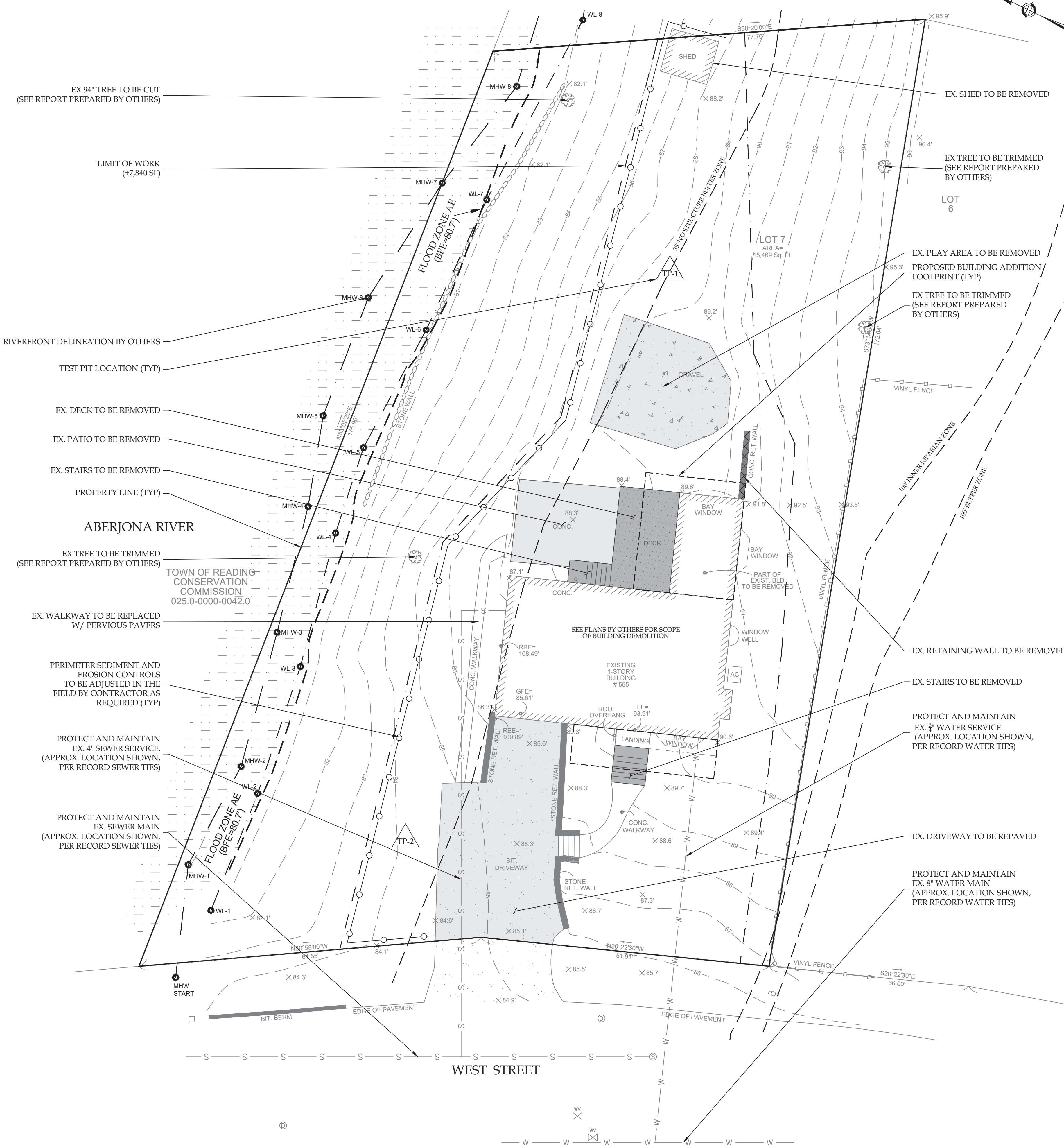


DATE: 6/24/2024
 TEST OBSERVER: KEVIN QUETTI, PE (SE #14616)
 BOSTON CIVIL

REFER TO THE TEST PIT REPORT
 FOR DRAINAGE ANALYSIS ONLY
 NO OTHER USE IS EXPRESSED OR IMPLIED
 ALL ELEVATIONS ARE APPROXIMATE.



**PERIMETER PROTECTION BARRIER
 SILT FENCE DETAIL WITH WATTLES**
 NOT TO SCALE



NO.	DATE	REVISION
1	7/24/2024	CONSERVATION SUBMISSION

DRAWN BY: OPY
 CHECKED BY: KAQ
 PROJECT #: 365
 DATE: 7/24/2024
 SCALE: 1" = 10'

GENERAL NOTES:

- REFER TO ADDITIONAL NOTES ON SHEET C-1, SITE PREPARATION PLAN ON SHEET C-2, AND DETAILS ON SHEET C-4.
- REFER TO THE SOIL PROFILES ON SHEET C-2 AND THE TEST PIT REPORT FOR ADDITIONAL SOIL INFORMATION.
- REFER TO PLANS PREPARED BY LAND MAPPING, INC. FOR EXISTING AND PROPOSED SETBACKS.
- ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- RIVERFRONT BUFFERS PRESENTED HEREON WERE APPROXIMATED BY OTHERS.
- IF CONDITIONS DO NOT MATCH INFORMATION (EX. LEDGE, GW ELEVATIONS, SURVEY DISCREPANCIES, ETC.) CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- ALL GUTTERS DRAINING TO INFILTRATION SYSTEM SHALL HAVE DEBRIS GUARDS. NOTE: ALL DOWNSPOUTS MAY NOT BE SHOWN.
- CONTRACTOR SHALL ENSURE MIN. 1% SLOPES ON ALL PIPES TO THE INFILTRATION SYSTEM. ALL BENDS AND CONNECTIONS SHALL BE PERFORMED WITH 45° BENDS OR WYE FITTINGS.
- GRADE ALL LAND AWAY FROM DWELLING 5% MIN. FOR THE FIRST 10 FEET.
- CONTRACTOR SHALL OBTAIN APPROVAL, FROM THE ENGINEER, ANY DEVIATIONS TO THIS PLAN.
- CONTRACTOR TO COORDINATE WITH THE TOWN OF READING FOR PERMITTING. THIS PLAN DOES NOT CONSTITUTE A PERMIT.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
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- THE CONTRACTOR SHALL COORDINATE NEW GAS AND ELECTRICAL LOCATIONS WITH THE APPROPRIATE UTILITY COMPANIES.
- TREE AND PLANTING INFORMATION PRESENTED HEREON IS BASED ON DIRECTION PROVIDED BY OTHERS.

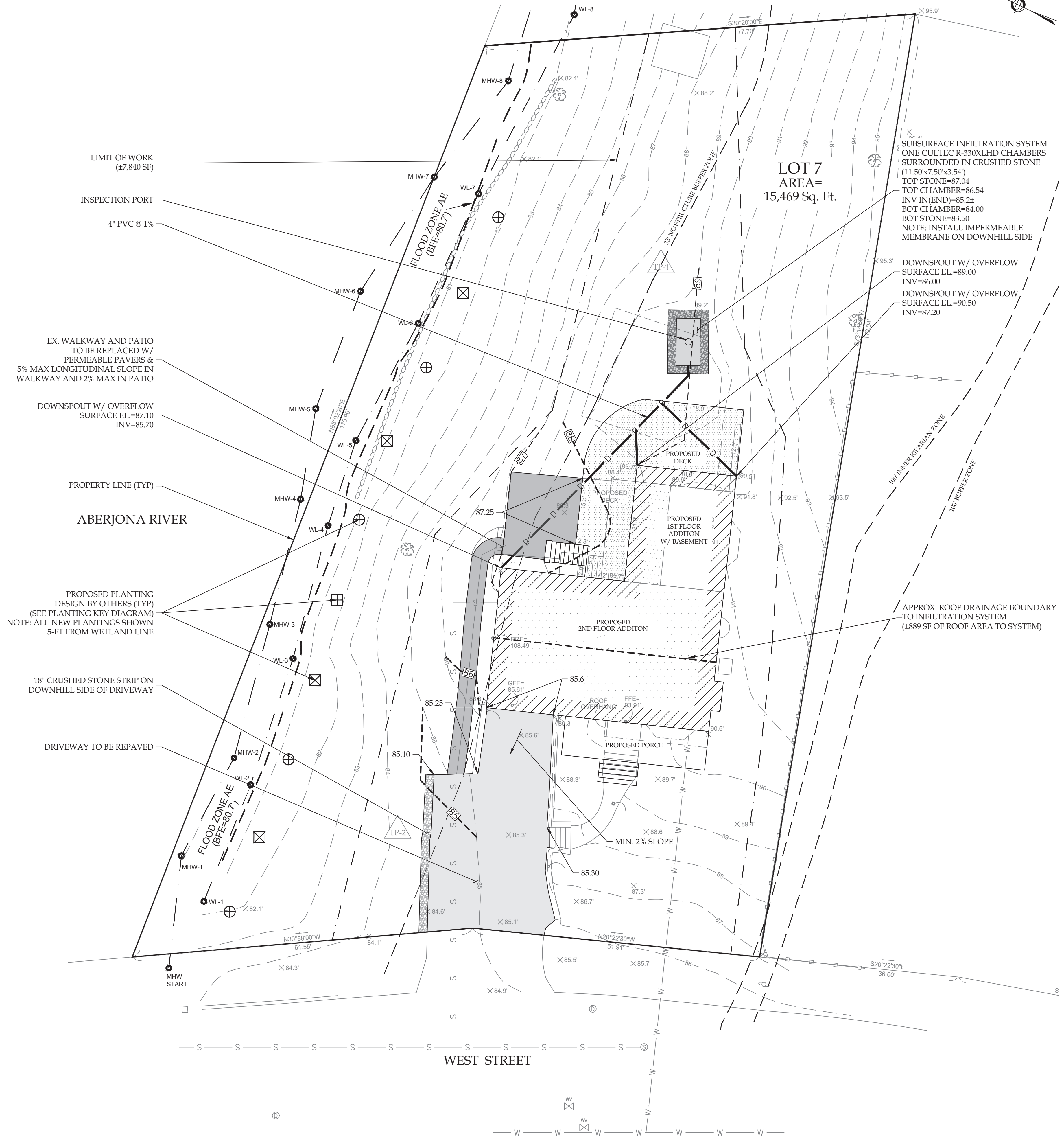
DRAINAGE AREA BREAKDOWN		
DESCRIPTION	EXISTING	PROPOSED
TOTAL AREA	15,470	15,470
BUILDING AREA	1,355	1,586
SITE IMPERVIOUS	1,306	916
TOTAL IMPERVIOUS	2,661	2,502
PERMEABLE PAVERS	0	311
DECKS	194	483
LAWN (HSG B)	12,615	12,174
CHANGE IN IMPERVIOUS	N/A	(159)

REFER TO THE STORMWATER NARRATIVE FOR RUNOFF AND VOLUME CALCULATIONS.

PLANTING KEY DIAGRAM:

- ⊕ HIGHBUSH BLUEBERRY (VACCINIUM CORYMBESUM) (x5)
- ⊗ WINTERBERRY (ILEX VERTICILLATA) (x4)
- ⊞ RED MAPLE TREE (ACER RUBRUM) (x1)

NOTE: PLANTINGS ARE BASED OFF OF THE DIRECTION OF NORSE ENVIRONMENTAL SERVICES, INC.

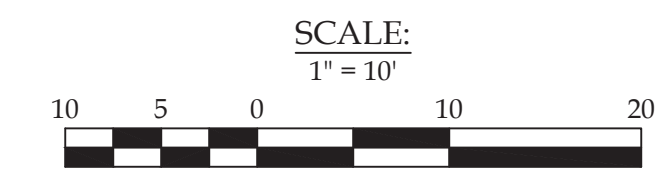


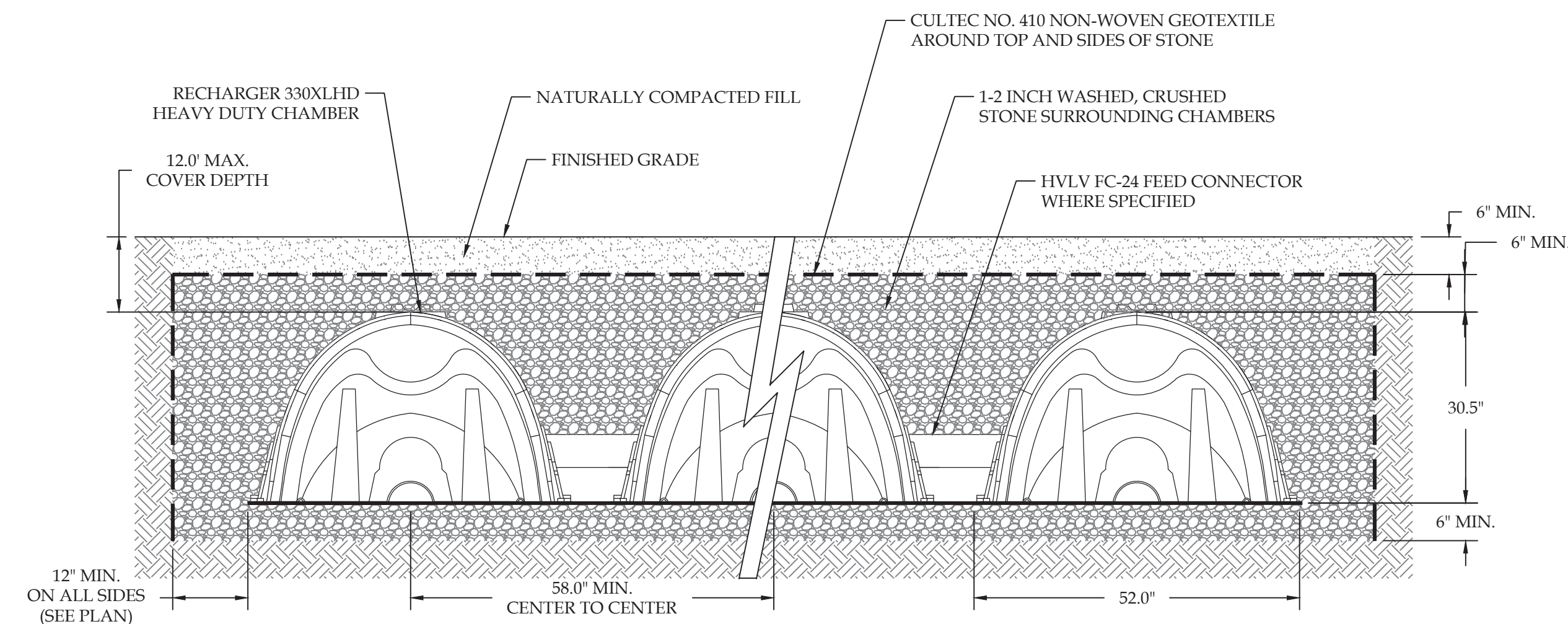
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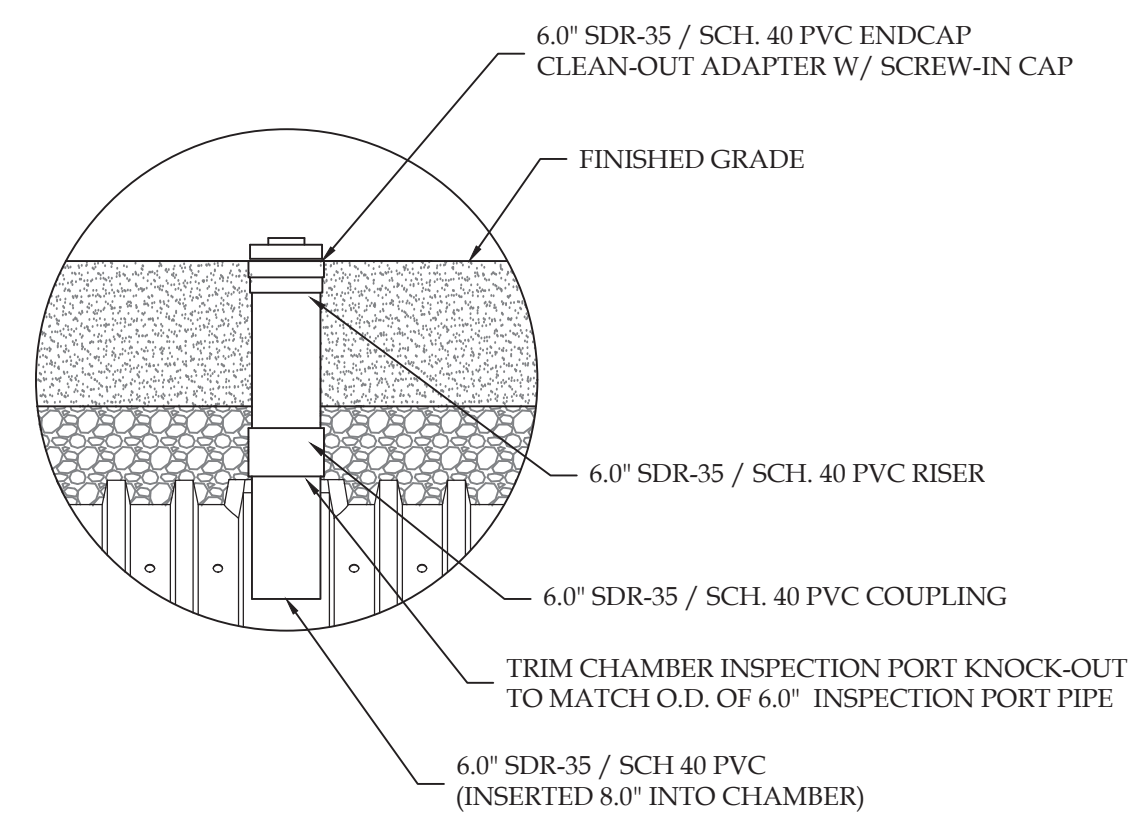
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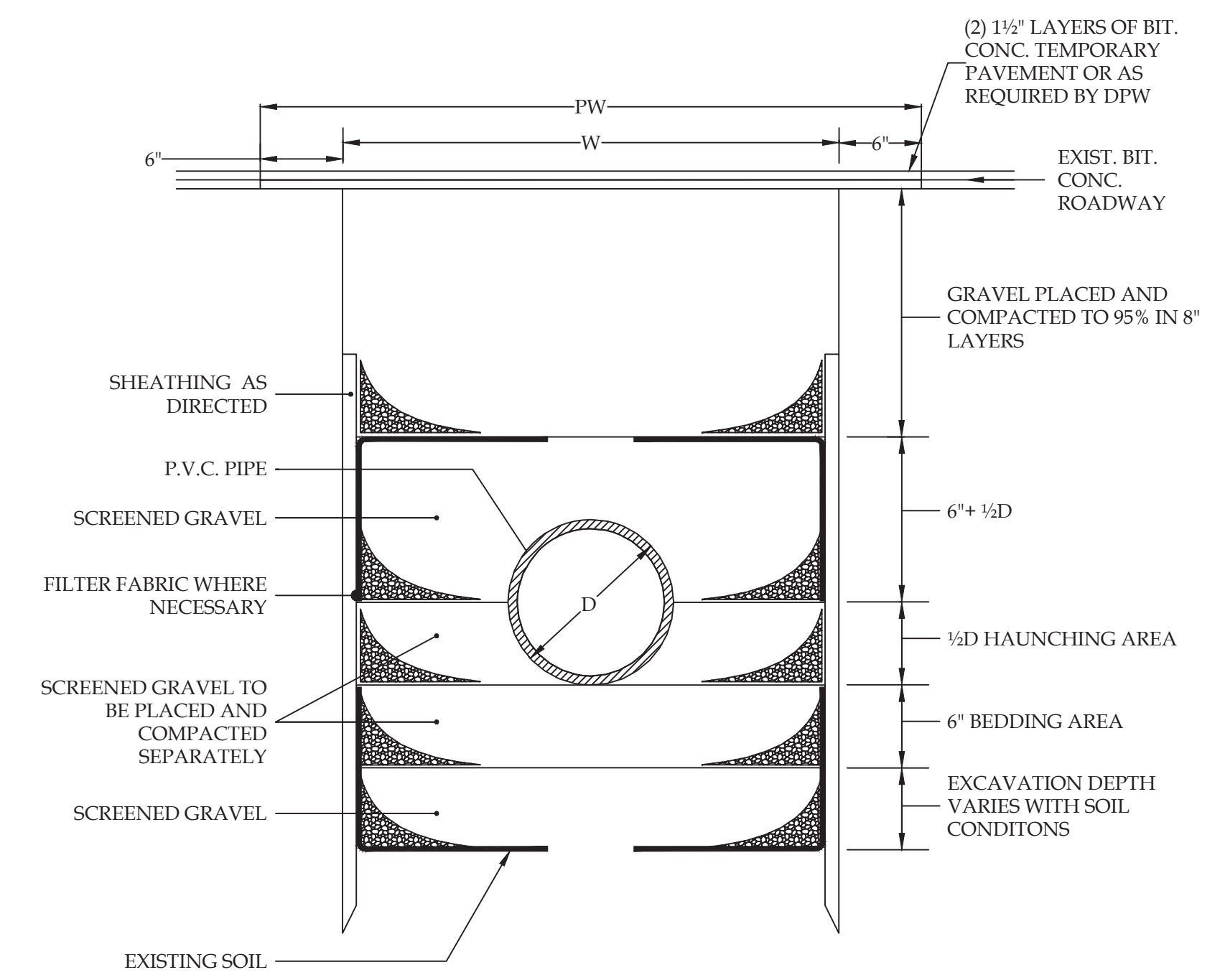


NOTE:
CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS.

CULTEC RECHARGER 330XL HD HEAVY DUTY CROSS SECTION
NOT TO SCALE

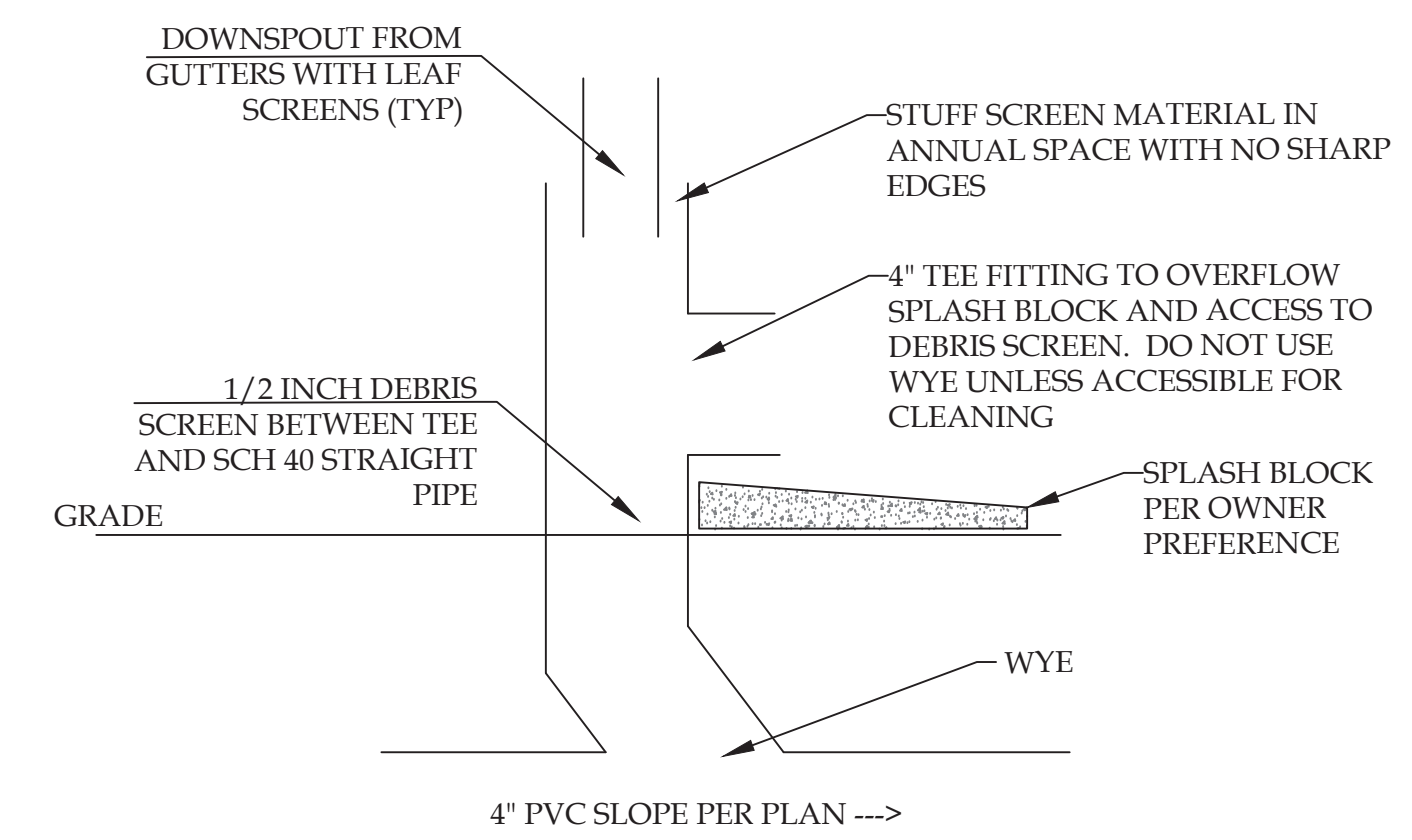


CULTEC INSPECTION PORT DETAIL
NOT TO SCALE

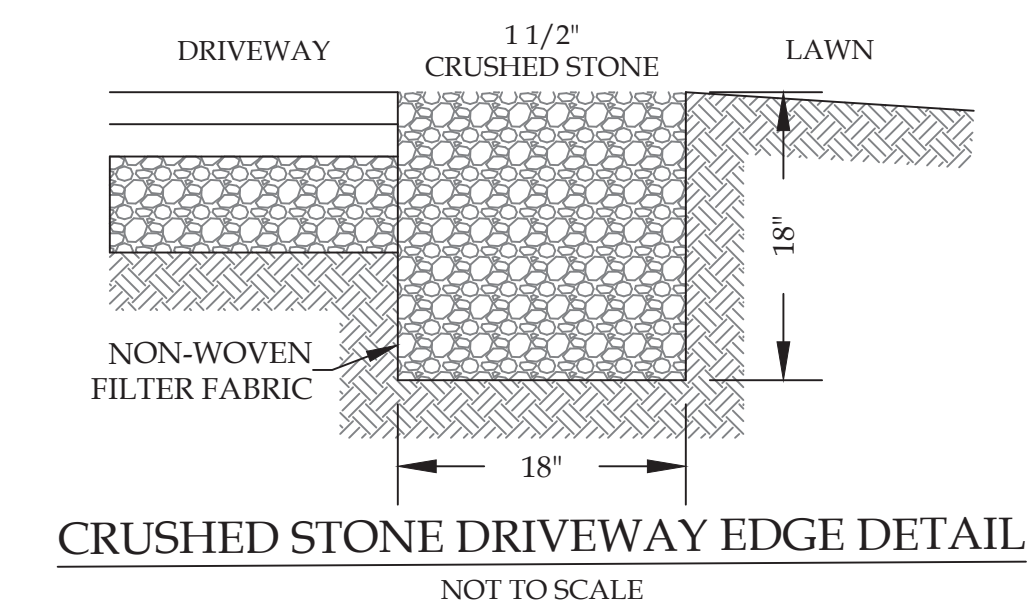


W = MAXIMUM TRENCH WIDTH
PW = MAXIMUM PAVING WIDTH = W+1'-0"
D = OUTSIDE DIAMETER
UNSHEATHED TRENCH: W = D+2' (3'-0" MIN.)
SHEATHED TRENCH: W = D+2' + SHEATHING WIDTH:
4'-0" MIN. W/0 WALERS
5'-0" MIN. W/WALERS
TRENCH BOX OR HYDRAULIC SHORING:
W = D+2' + [WALL SHIELD WIDTH ± 8"] + 1' FOR TRENCH BOX

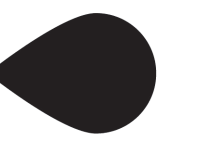
TRENCH DETAIL FOR PVC PIPE
NOT TO SCALE



DOWNSPOUT TO DRAIN SYSTEM DETAIL
NOT TO SCALE



CRUSHED STONE DRIVEWAY EDGE DETAIL
NOT TO SCALE



BOSTON CIVIL

ENGINEERING & LAND PLANNING

PHONE: 413-281-6615
711 EAST BROADWAY
BOSTON, MA 02127

CIVIL DETAILS
555 WEST STREET, READING, MA

PREPARED FOR:
KAUSHAL PATEL
555 WEST STREET, READING, MA 01867

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SHEET:
C-4